

LeBreton Flats Redevelopment

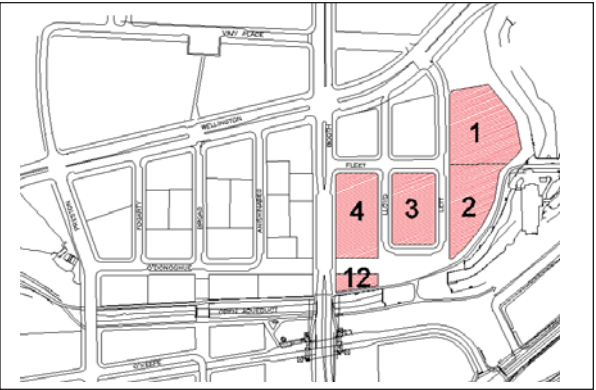
Development Summary Chart (First Subdivision)

Development Analysis Chart

NOTE: THE FOLLOWING TABLE REPRESENTS THE RESULTS OF THE NCC'S DEMONSTRATION OF DEVELOPMENT CAPACITY. WHILE ACTUAL DEVELOPMENT FIGURES MAY VARY, DEVELOPMENT MUST BE IN GENERAL CONFORMITY WITH THE DENSITIES SHOWN IN THE NCC'S DEMONSTRATION PLANS.

Development yield and number of underground parking levels required for buildings with residential and commercial development:

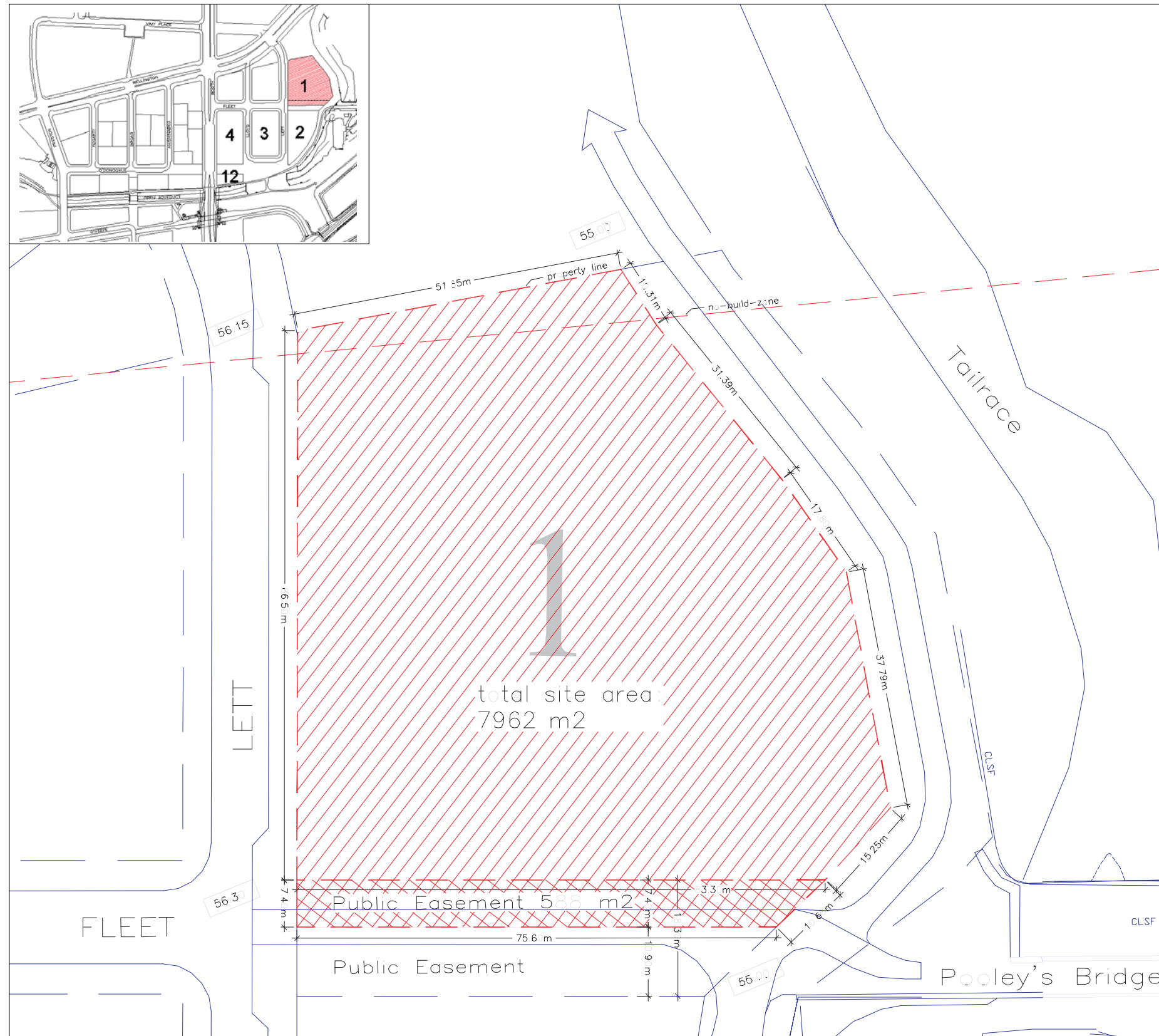
- The LeBreton Flats development area is part of the Central Area referred to in the City of Ottawa parking regulations and loading.
- For the purposes of this analysis, residential buildings are assumed to be apartment buildings 20m deep, containing a mix of units, and townhouses 11m deep.
- Developable site area is the area contained within a specific block, or part thereof, and delineated by the required setbacks.
- All residential buildings are within 400m of the proposed transit station to be built at Booth St. and the Transitway.
- According to By-law 6-2000, combined resident & visitor parking for buildings within 400m of a transit station need not exceed: one(1) per dwelling unit.
- It is stipulated that every dwelling unit requires one(1) parking space.
- Density and unit allocation to individual development blocks are determined by infrastructure servicing capacity.
- Block 12 will require forcemain sanitary service due to its location south of the closed aqueduct.
- The Lett Street sanitary sewer must have a 20 litres/second reserve capacity for future off-site sanitary discharge.



KEY PLAN

Block	Zone	Proposed use	Site area	Max building height	Max No. of floors	Building ground fl. area	Retail GFA	Residential GFA	Total Building GFA	Residential units (total)	Parking spaces per level	Required Parking spaces	Required parking levels		FSI
			m ²	m	No.	m ²	m ²	m ²	m ²	No.	No.	No.	No.		
1	R6K	Apt building / stacked townhouses	7 962	40	12	4 536	0	35 104	35 104	375	234	375	1.6		4.7
2	R6K	Stacked townhouses	5 675	20	6	2 660	0	12 448	12 448	129	142	129	0.9		2.3
3	R6K	Apt building / stacked townhouses	5 234	20	6	2 527	0	11 714	11 714	120	153	120	0.8		2.3
4	CN9	Apt / ground fl. retail / stacked townhouses	5 988	40	6	3 901	2 501	18 159	20 660	153	205	171	0.8		2.9
12	R7D	Apt building/retail on the ground and 2 nd floor	1 112	40.5	6	904	1808	3 072	4 480	10	30	23	0.8		4.4
Totals			25 971				4309	80 497	84 806	787		818			

NOTE: THE FOLLOWING BLOCK SPECIFIC GUIDELINES FOLLOW THE DEVELOPMENT PREMISE SET OUT IN THE MASTER PLAN DEVELOPED FOR THE OVERALL SITE THAT CREATES A “STREET-WALL” ALONG WELLINGTON BOULEVARD, BOOTH AND FLEET STREET THROUGH THE USE OF 6-STOREY BUILDINGS LOCATED ADJACENT TO PROPERTY LINES AND THE USE OF 12-STORY POINT TOWERS. ALL BLOCKS FEATURED STREET-RELATED DEVELOPMENT AND THE USE OF INTERNALIZED COURTYARDS CONSTRUCTED OVER STRUCTURED PARKING. MANDATORY BUILD-TO LINES ARE ILLUSTRATED ON THE FOLLOWING PAGES AS SOLID RED LINES. WHERE NOT EXPRESSED AS A MANDATORY CONDITION, THE NCC WILL CONSIDER THE PROPONENT’S DESIGN PROPOSAL ON ITS MERITS AND ITS CONFORMITY TO THESE GUIDELINES. THE GUIDELINES SHALL GOVERN THE PURCHASER’S DESIGN REPOSNSE AND THE NCC'S REVIEW OF THE PURCHASERS DESIGN PROPOSAL.



BLOCK 1, PROPERTY BOUNDARIES, SCALE 1:750

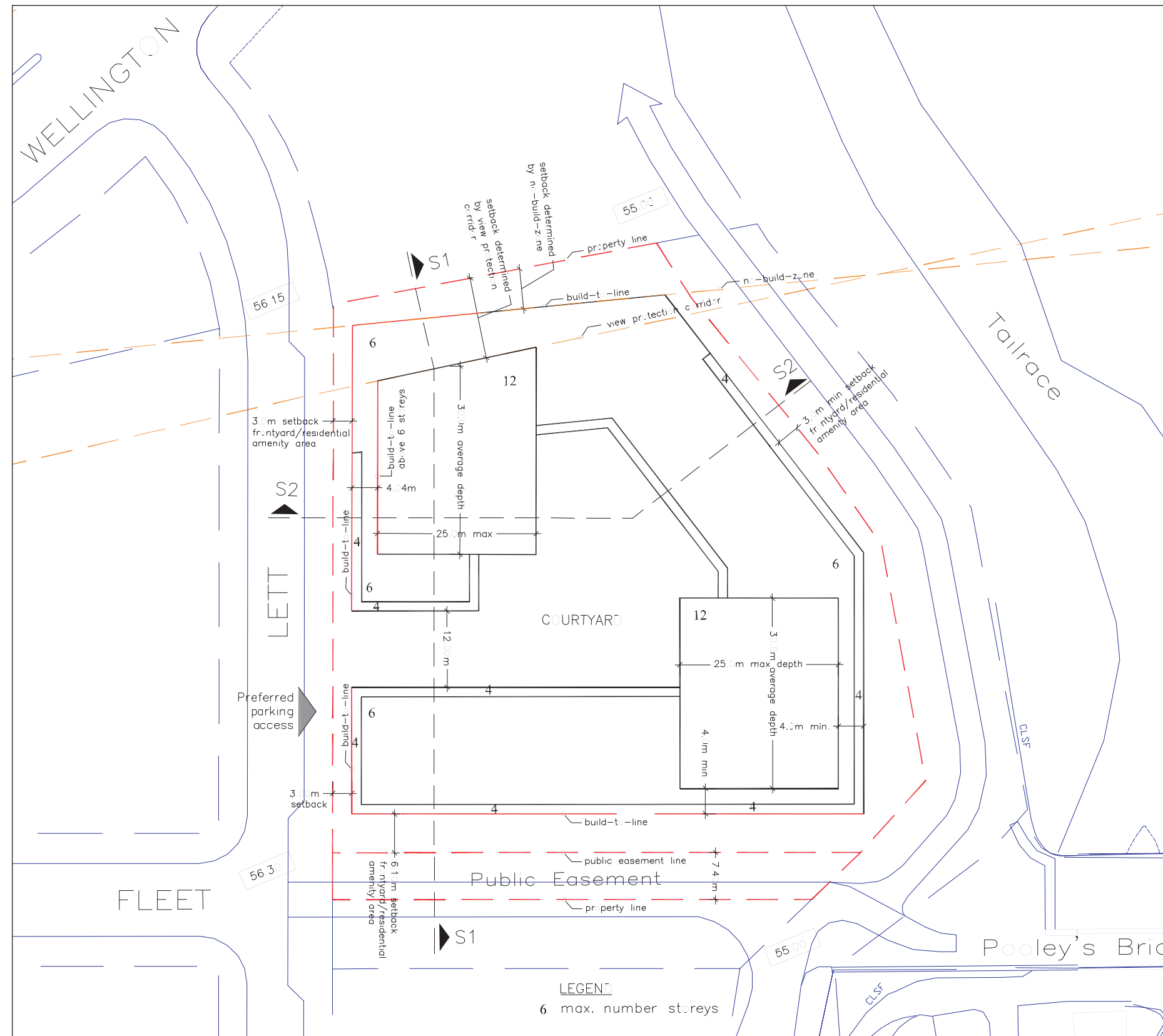
Block 1

Description

Block 1 is a large development parcel situated at the most north easterly portion of the development. It is one of the most prominent and desirable sites for residential use because of its location and extensive frontage onto the aqueduct and tailrace, and proximity to public open space planned for LeBreton Flats. The location and orientation of this block is particularly important in the dynamic entry and exit view sequences as one enters or leaves the Confederation Boulevard. For this reason, the architectural design of the buildings on this parcel must be carefully considered and be of high quality. The block has direct frontage onto Wellington Street and has an important role in establishing and reinforcing this as a capital edge in the form of point towers up to 12 storeys (40.0m.) maximum in height and a maximum floor plate of 700 square metres over a six storey high (20.0m.) maximum base building condition. The block also has direct street frontage onto Lett Street, a local road within the development. The south frontage onto the Fleet Street right-of-way occurs where Fleet becomes a pedestrian mews fronted by grade-oriented residential units. The eastern portion of the block boundary fronts directly onto the aqueduct and tailrace open space system, providing a highly desirable residential frontage. Residential uses are required at the ground floor level and the north, south, east, and west setback dimensions are compulsory "build-to" lines.

Zoning

The zoning designation applied to this parcel of land is R6K, which permits apartment buildings, stacked townhouses and a range of other associated residential uses.



DEMONSTRATION PLAN FOR BLOCK 1, BUILT FORM, SCALE 1:750

Block 1

Block Organization

The organization of Block 1 is based upon a perimeter configuration of 6-storey residential buildings fronting onto Wellington Street, Lett Street, the Fleet Street easement. Point tower forms with a maximum floorplate of 700 square metres, setback from the Wellington Street property line 13.5 m set back a minimum of 7.0 m from both the Fleet Street easement and Lett Street property line. The built form fronting Wellington Boulevard, Lett and Fleet streets shall have a height of 6 stories or 20m.

Setbacks and Build-To Lines Measured from Property Line:

Up to 20 Metre Height:

Wellington Street	Build-To Line determined by no-build-zone (schedule 226 of City of Ottawa By-Law 98)
Lett Street	3.0m Build-To Line
Fleet Street easement	6.1m Build-To Line
Eastern Frontage	3.0m Min. Setback

Above 20 Metre Height:

Northern Property Line	13.5m Setback determined by view protection corridor (schedule 225 of City of Ottawa By-Law 98)
Fleet Street Easement	7.0m Setback
Lett Street	7.0m Setback
Eastern Frontage	7.0m Min. Setback

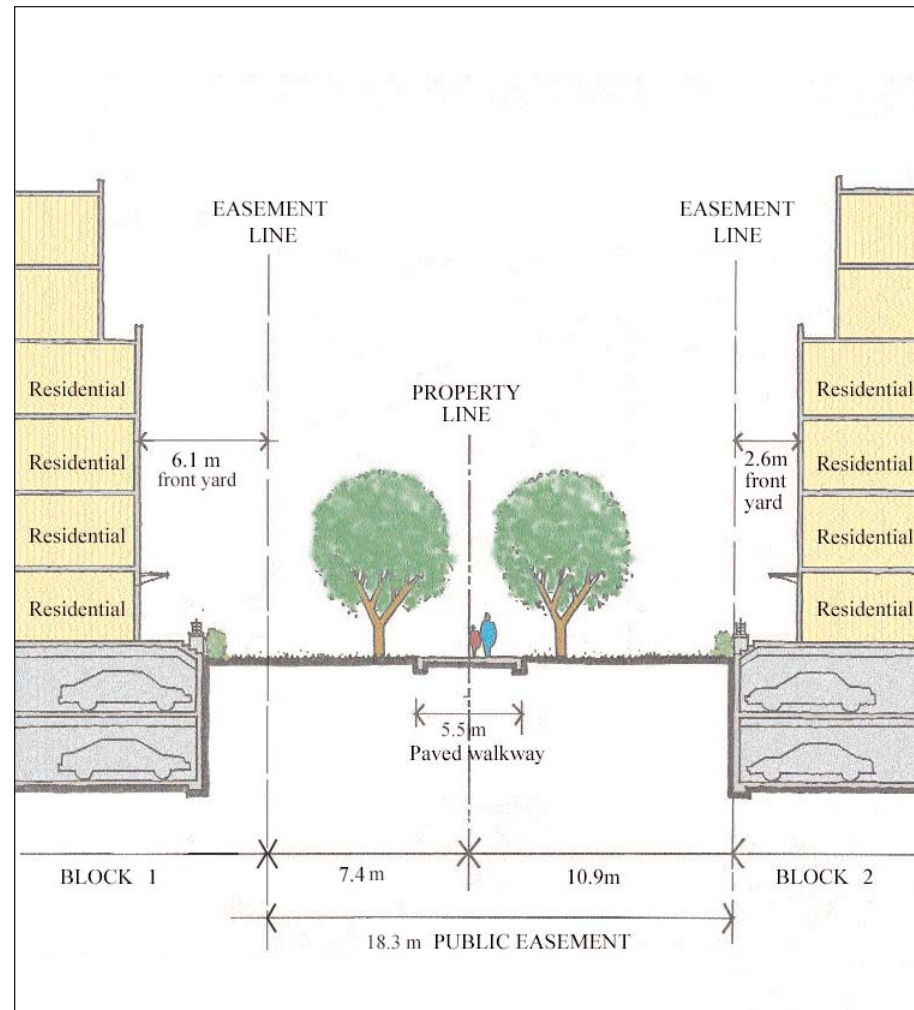
Minimum building height:

20m or 6 storeys on Wellington, Lett and Fleet Streets
14m or 4 storeys on the flanking streets

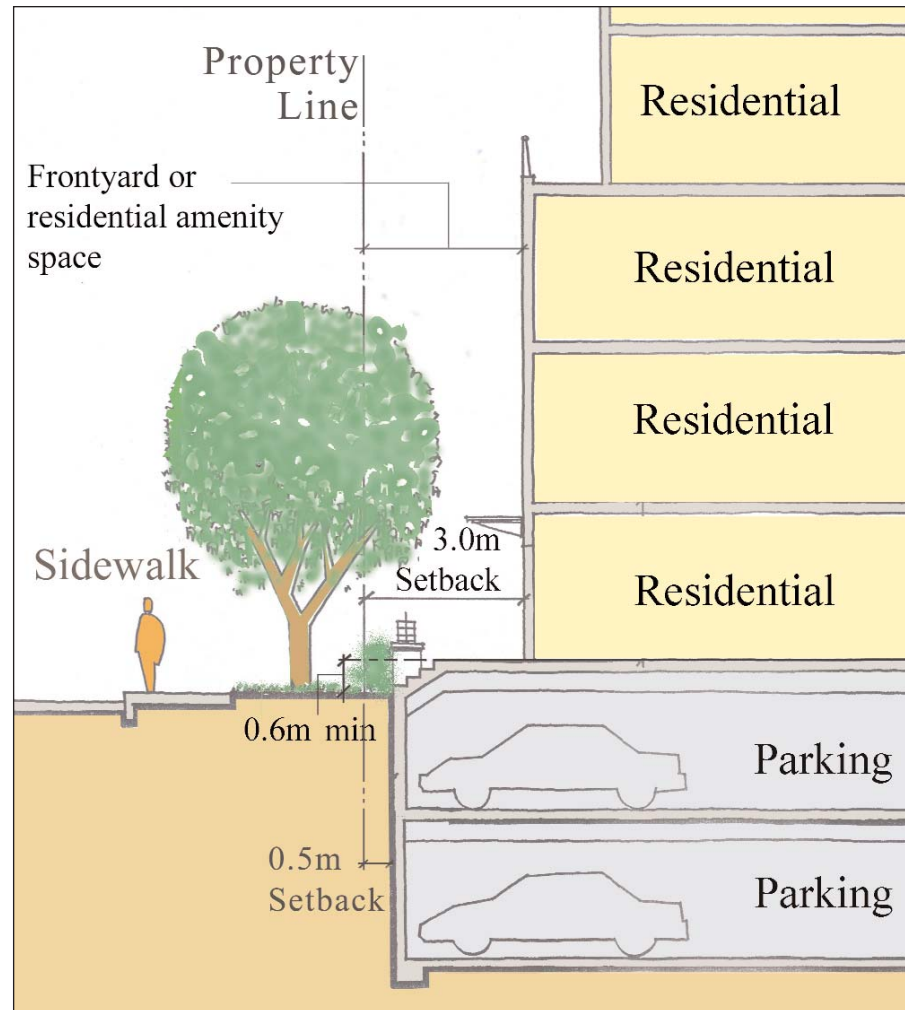
Maximum Overall Building Height: 40m

Maximum Point Tower Floor Plate: 700 square metres

LeBreton Flats



CROSS-SECTION OF FLEET ST. EASEMENT, LOOKING EAST
(DEMONSTRATION PLAN)



RESIDENTIAL BUILDING EDGE (DEMONSTRATION PLAN)

Block 1

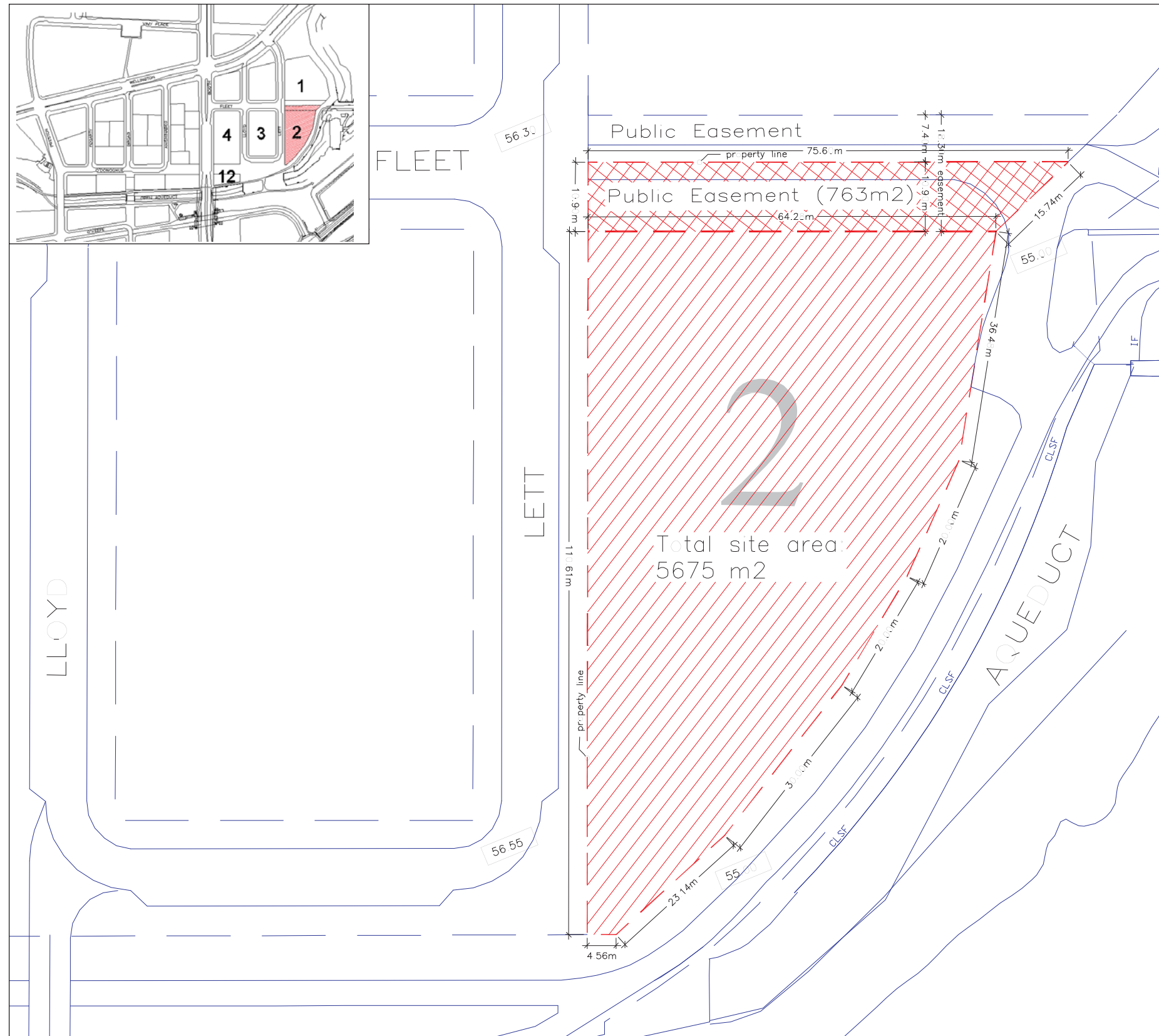
Edge Conditions

Residential

Ground floor dwelling units are to be addressed, have direct access from, and have windows facing into the street. Ground floor dwelling units and their front porch/yard areas are to be elevated a minimum of 0.6m. and a maximum of 1.2m. above the adjacent sidewalk grade.

Parking and Servicing

All parking is to be located in below-grade structured parking. Parking and service access is to be accessed from Lett Street and must be integrated into the design of the built form and landscape. No parking or servicing access will be permitted from Wellington Street. Parking ramps are to be perpendicular, not parallel, to the street or the Fleet Street easement.



BLOCK 2, PROPERTY BOUNDARIES, SCALE 1:750

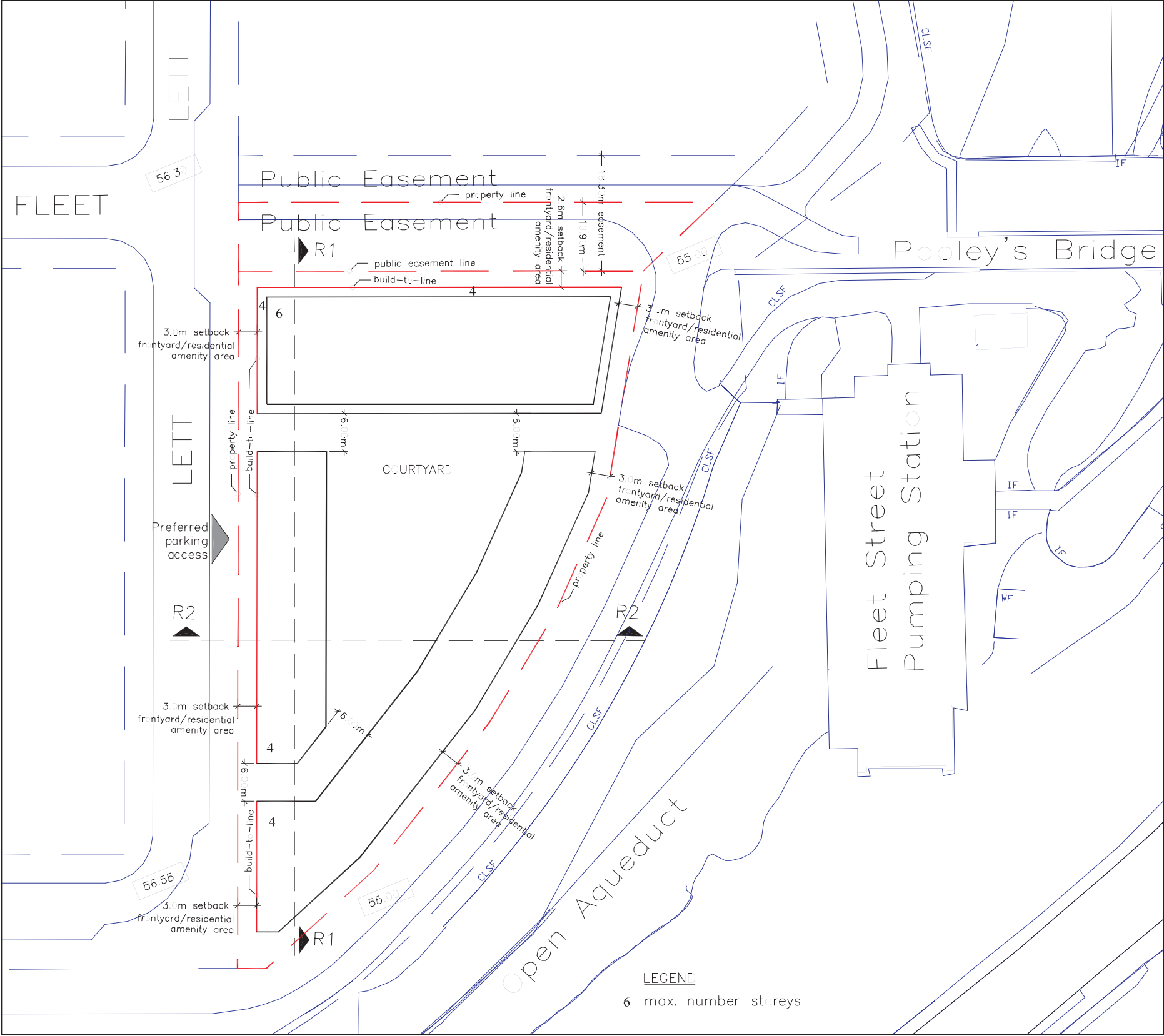
Block 2

Description

Block 2 is located immediately south of the Fleet Street right-of-way and east of Lett Street. Like Block 1, Block 2 is one of the most desirable sites for residential development because of its location and frontage onto the aqueduct and its proximity to open space planned for LeBreton Flats. This block functions as a "fabric" block within the urban structure, and does not define a formal Capital edge like Wellington Street. The block is, however, important in defining the edge condition and interface with the open space on its eastern and southern boundaries. The development site has street frontage on the eastern side of Lett Street and southern side of the Fleet Street right-of-way. A residential, 20.0m maximum building height applies across the block. Setback dimensions along the Fleet Street, Lett Street, and south property lines are compulsory "build-to" lines.

Zoning

The zoning designation applied to this parcel of land is R6K, which permits stacked townhouses and a limited range of other associated residential uses.



DEMONSTRATION PLAN FOR BLOCK 2, SCALE 1:750

Block 2

Block Organization

The organization of Block 2 shall respond to the build-to lines established on the Lett and Fleet streets edges of the block. Development facing the aqueduct must respond to the character of the landscaped open space adjacent to the aqueduct. The built form fronting Fleet Street shall be 6 stories or maximum 20m in height.

Setbacks and Build-To Lines Measured from Property Line:

Up to 20 Metre Height:

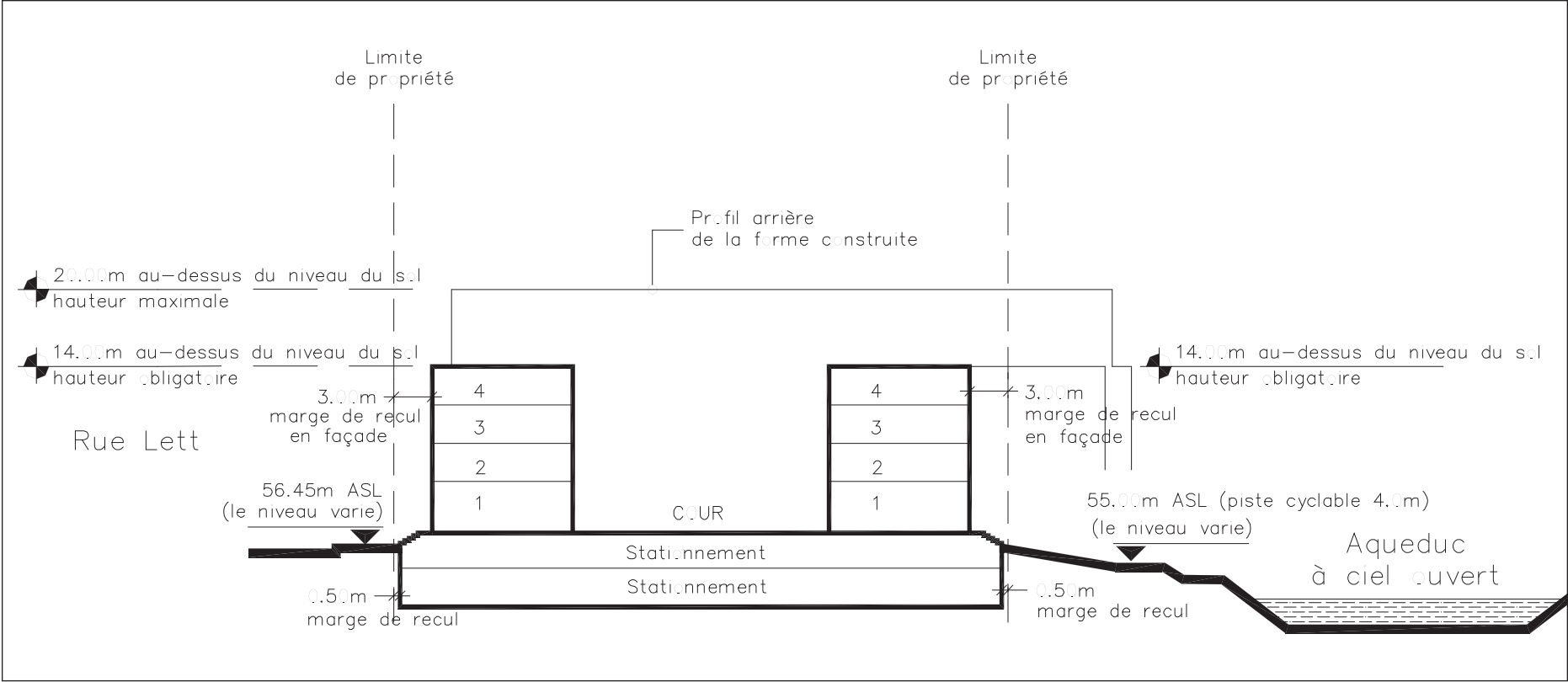
Fleet Street Easement	2.6m Build-To Line
Lett Street	3.0m Build-To Line
Southern & Eastern Property Line	3.0m Build-To Line

Minimum Building Height:

14m and 4 storeys

Maximum Overall Building Height:

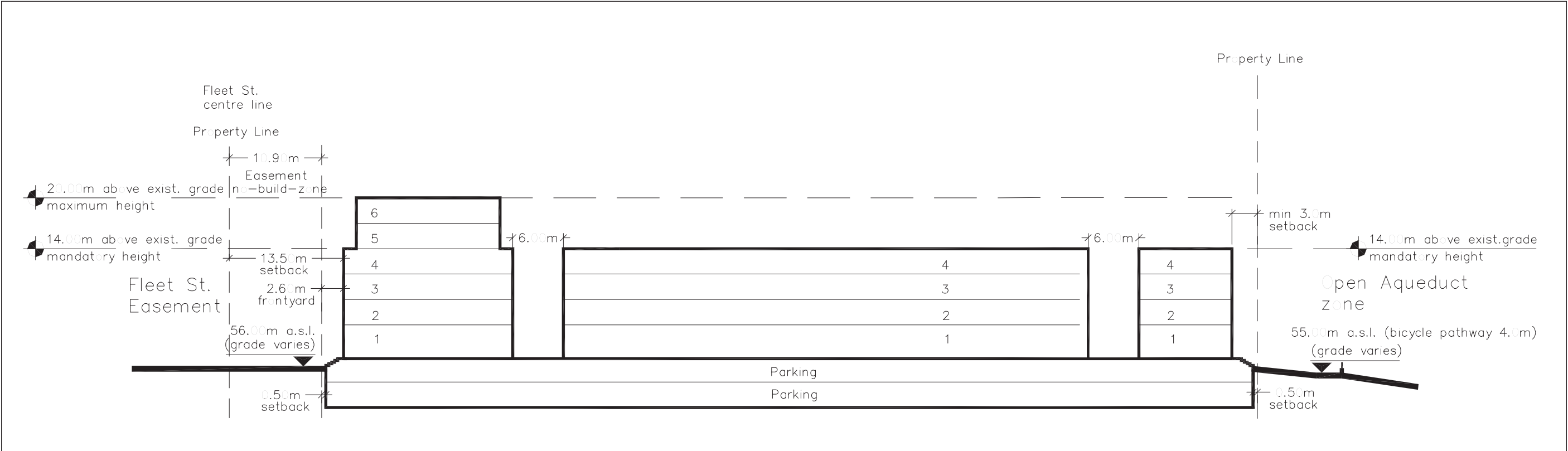
20m



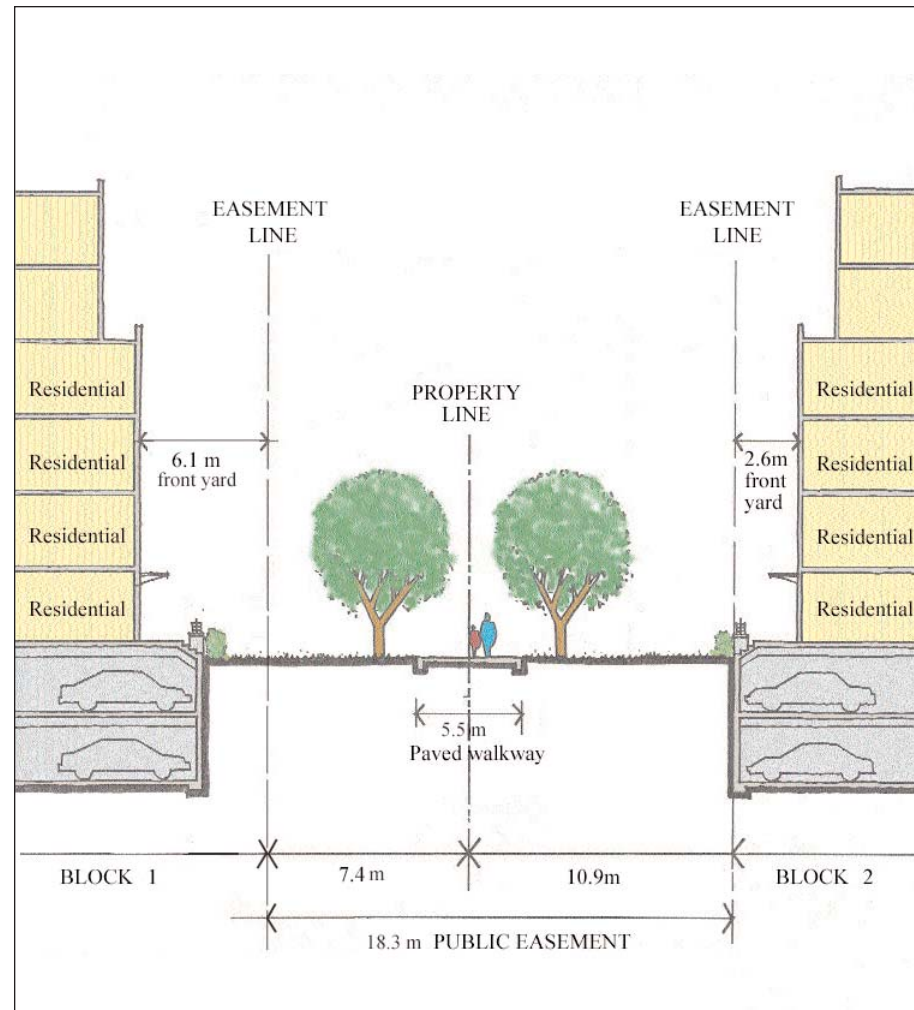
SECTION OF DEMONSTRATION PLAN FOR BLOCK 2, SECTION R2-R2, SCALE 1:500

Block 2

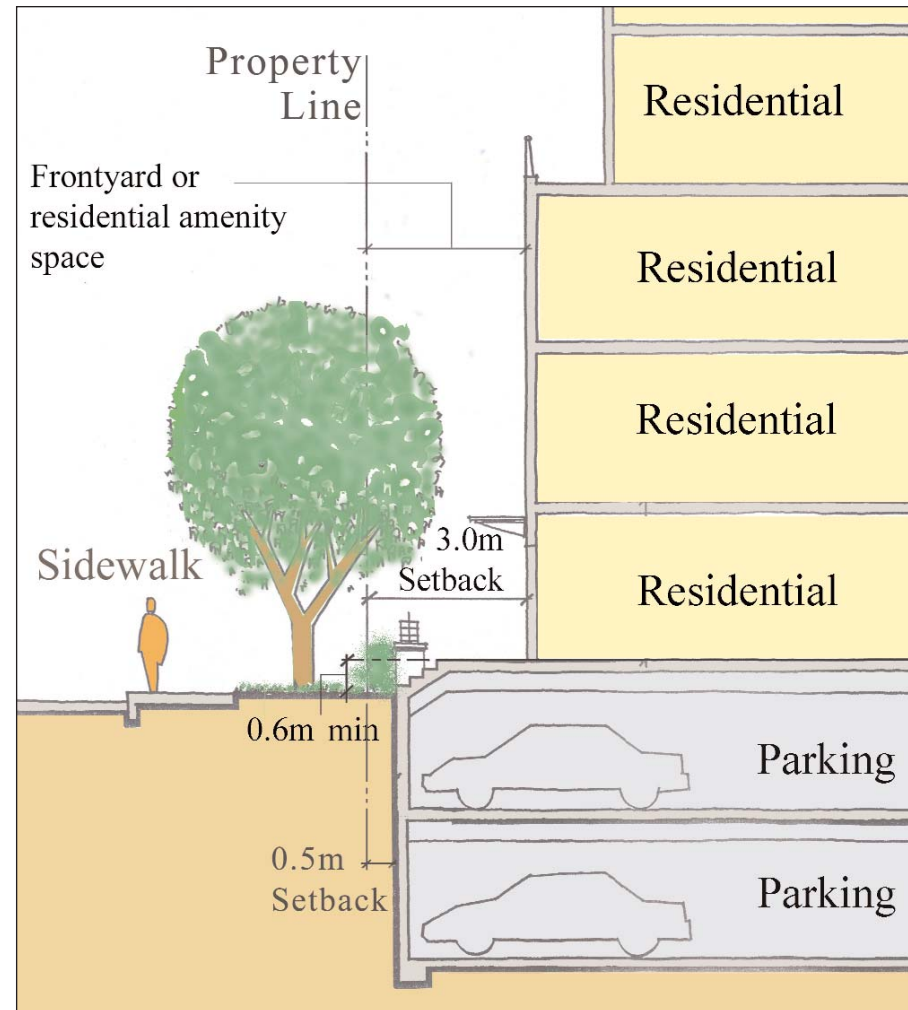
The building envelope is illustrated in these sections. It is mandatory that the built form be articulated by its architecture within the maximum height limits and setbacks, both in plan and in section. The 4th floor or 14m. height must be acknowledge by a setback of at least 1.5m. and/or by an acceptable architectural device such as a cornice.



SECTION OF DEMONSTRATION PLAN FOR BLOCK 2, SECTION R1-R1, SCALE 1:500



CROSS-SECTION OF FLEET ST. EASEMENT, LOOKING EAST
(DEMONSTRATION PLAN)



RESIDENTIAL BUILDING EDGE ON LETT STREET
(DEMONSTRATION PLAN)

Block 2

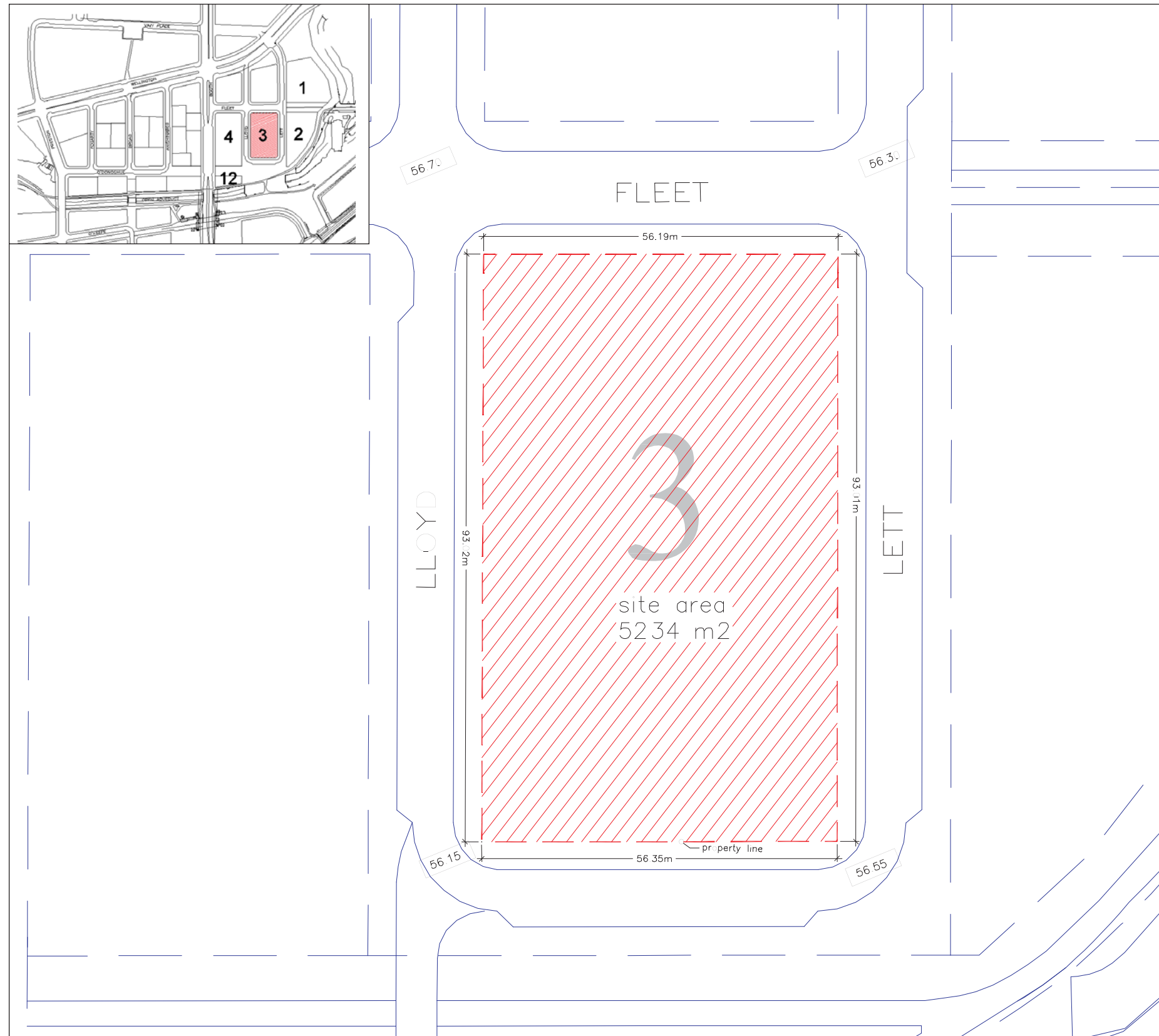
Edge Conditions

Residential

Ground floor dwelling units to be addressed, have direct access from, and windows facing into the street. Ground floor dwelling units and their front porch/yard areas are to be elevated a minimum of 0.6m and a maximum of 1.2m. above the adjacent sidewalk grade.

Parking and Servicing

All parking is to be located in below-grade structured parking. Parking and service access is to be accessed from Lett Street and must be integrated into the design of the built form and landscape.



BLOCK 3, PROPERTY BOUNDARIES, SCALE 1:750

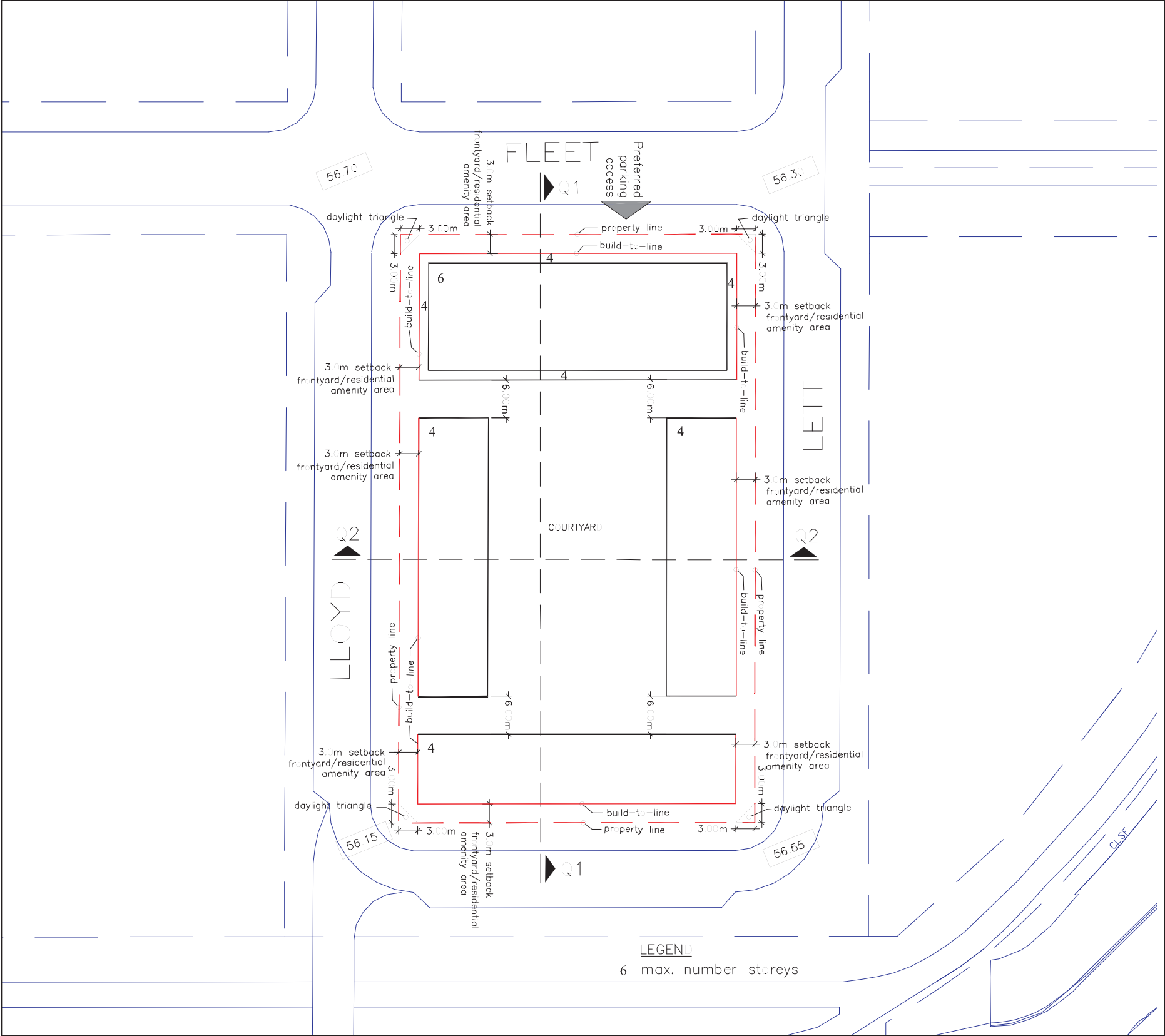
Block 3

Block Description

Block 3 is located directly north of the aqueduct and south of Fleet Street. It has direct frontage onto four streets; Fleet Street to the north, Lett Street to the east, Lloyd Street to the west and the connection between Lett and Lloyd Streets to the south. This block is also a "fabric" block, much like Block 2, and because of its expansive street frontage at the design response must reflect an urbane, street-oriented residential development. Built form for this block will consist of a series of 20.0m high maximum residential buildings. Setback dimensions from the north, south, east and west property lines are compulsory "build-to" lines.

Zoning

The zoning designation applied to this parcel of land is R6K, which permits apartments, stacked townhouses and a limited range of other associated residential uses.



DEMONSTRATION PLAN FOR BLOCK 3, SCALE 1:750

Block 3

Block Organization

The mandatory build-to lines will result in an organization of Block 3 that largely expresses a perimeter configuration of residential buildings fronting onto Fleet Street, Lett Street, Lloyd Street, and the southern property line, which may form an internal courtyard. The built form fronting onto Fleet Street shall be 6-storeys. No taller building elements, such as tower forms, are permitted on this development block.

Setbacks and Build-To Lines Measured from Property Line:

Up to 20 Metre Height:

Fleet Street	3.0m Build-To Line
Lett Street	3.0m Build-To Line
Lloyd Street	3.0m Build-To Line
Southern Frontage	3.0m Build-To-Line

Minimum Building Height:

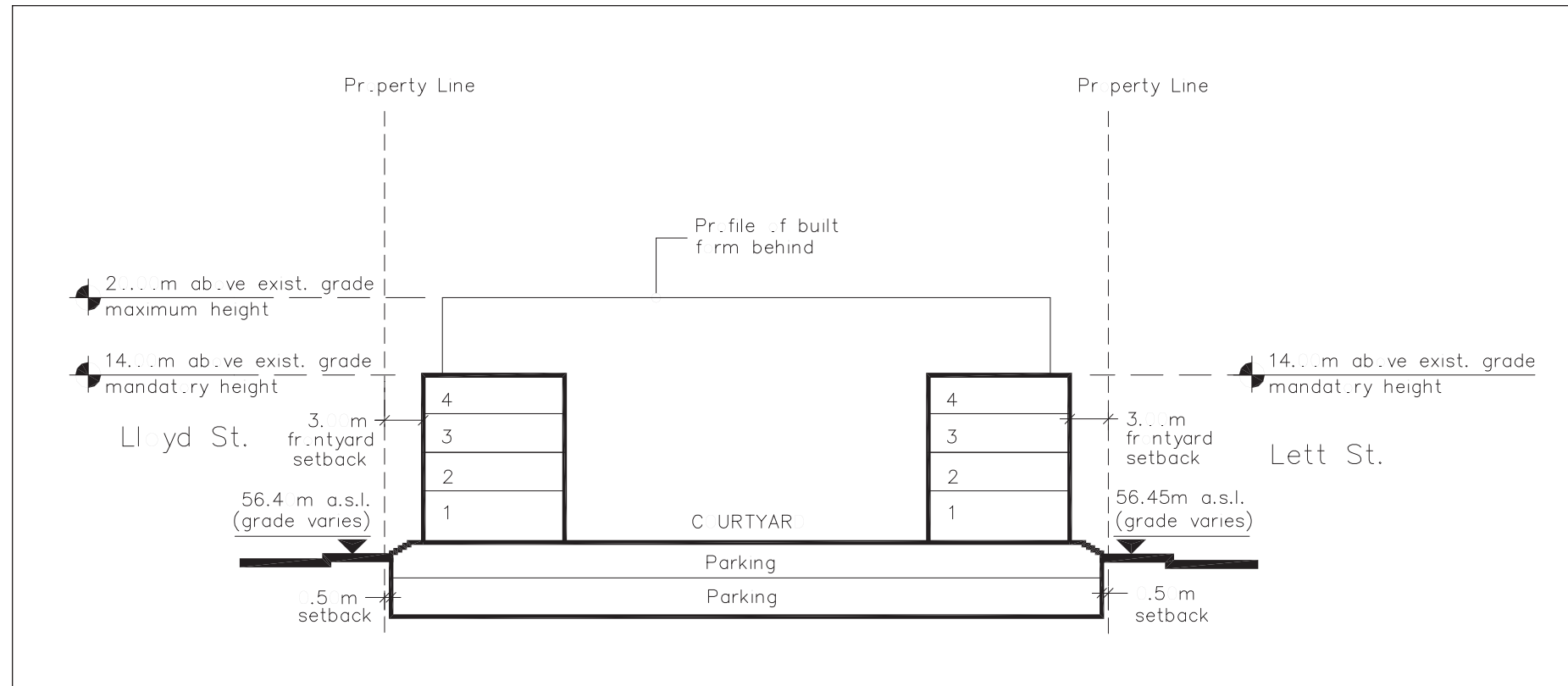
20m. and 6 storeys for Fleet street
14m and 4 storeys on Lloyd and Leet streets

Maximum Overall Building Height:

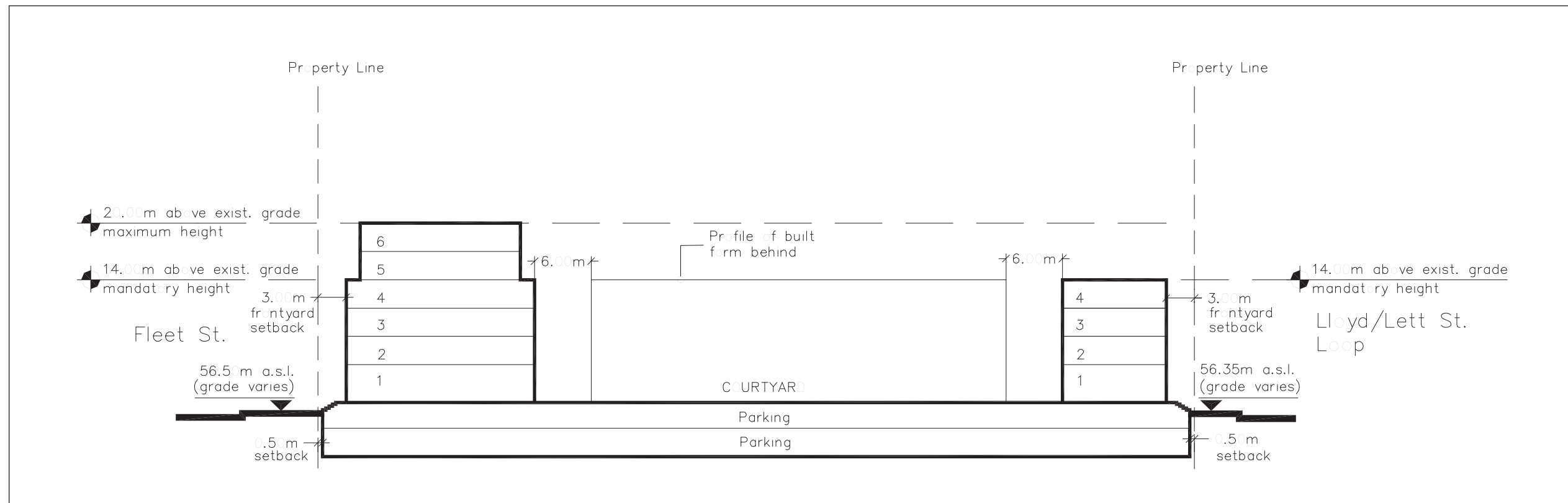
20m

Block 3

The building envelope is illustrated in these sections. It is mandatory that the built form be articulated by its architecture within the maximum height limits and setbacks, both in plan and in section. The 4th floor or 14m. height must be acknowledge by a setback of at least 1.5m. and/or by an acceptable architectural device such as a cornice.

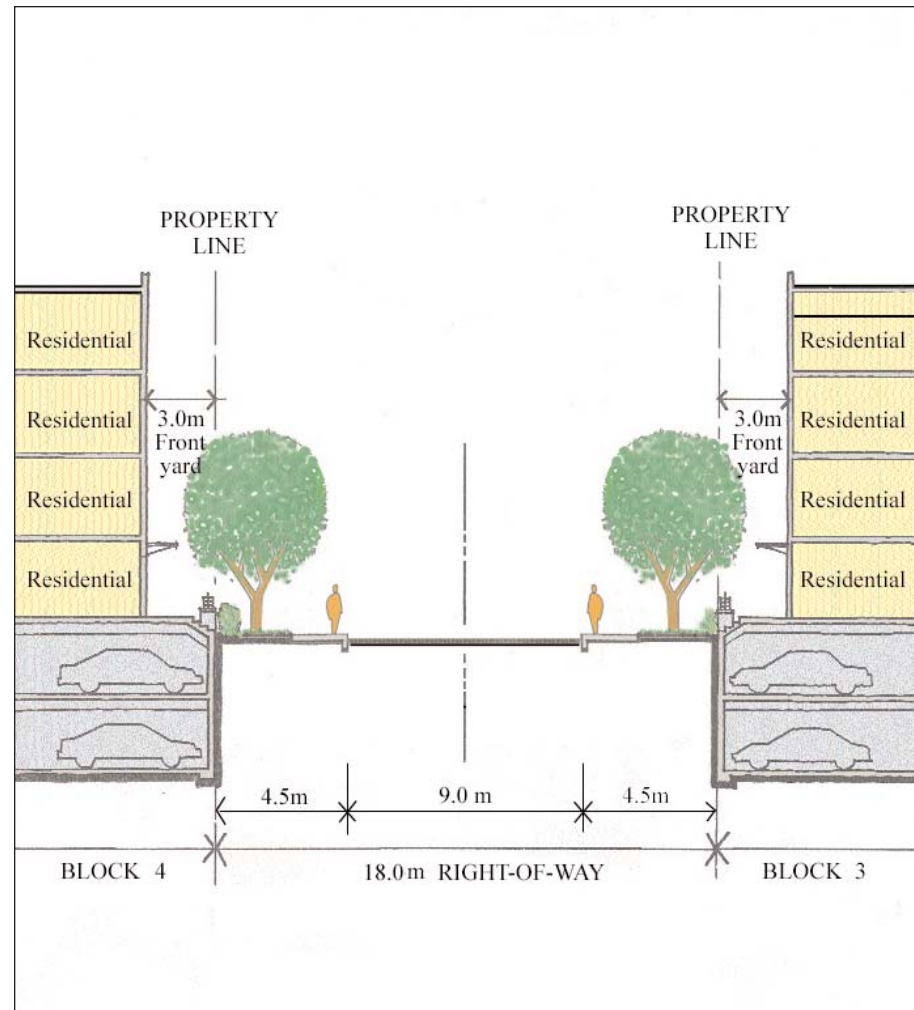


SECTION OF DEMONSTRATION PLAN FOR BLOCK 3, SECTION Q2-Q2, SCALE 1:500

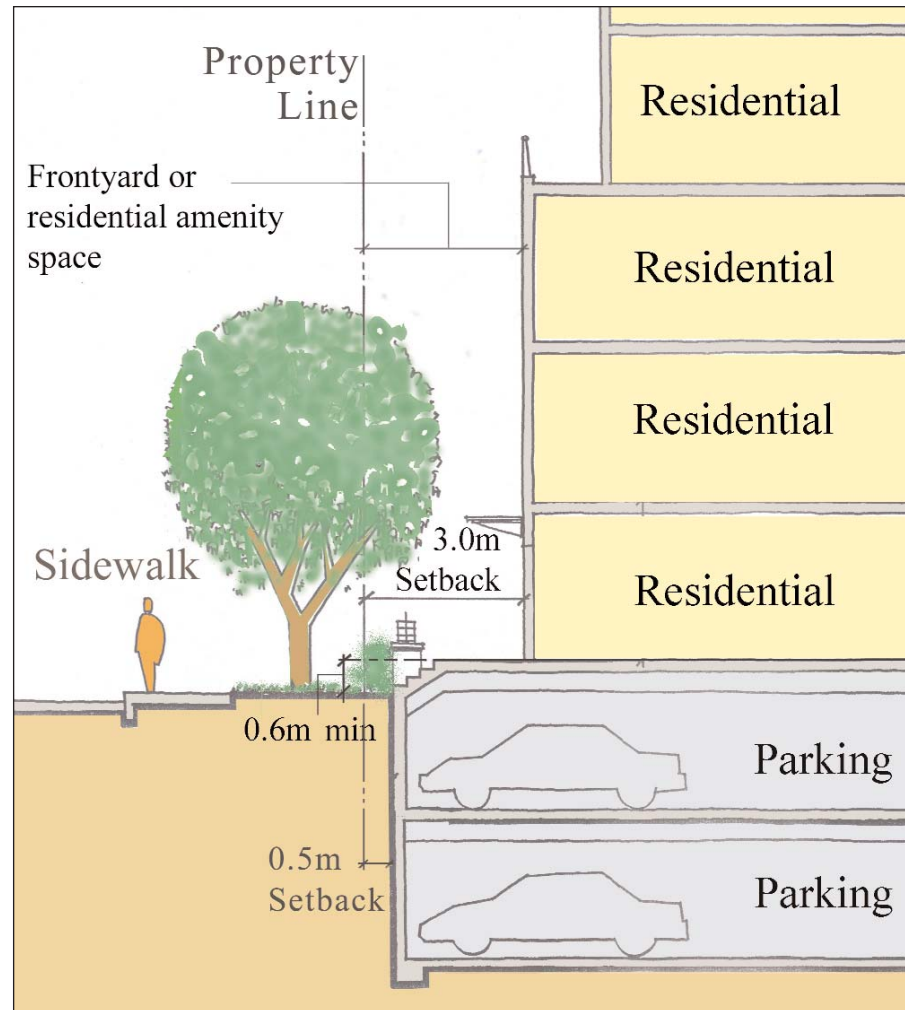


SECTION OF DEMONSTRATION PLAN FOR BLOCK 3, SECTION Q1-Q1, SCALE 1:500

LeBreton Flats



CROSS-SECTION OF LLOYD STREET, LOOKING NORTH
(DEMONSTRATION PLAN)



RESIDENTIAL BUILDING EDGE
(DEMONSTRATION PLAN)

Block 3

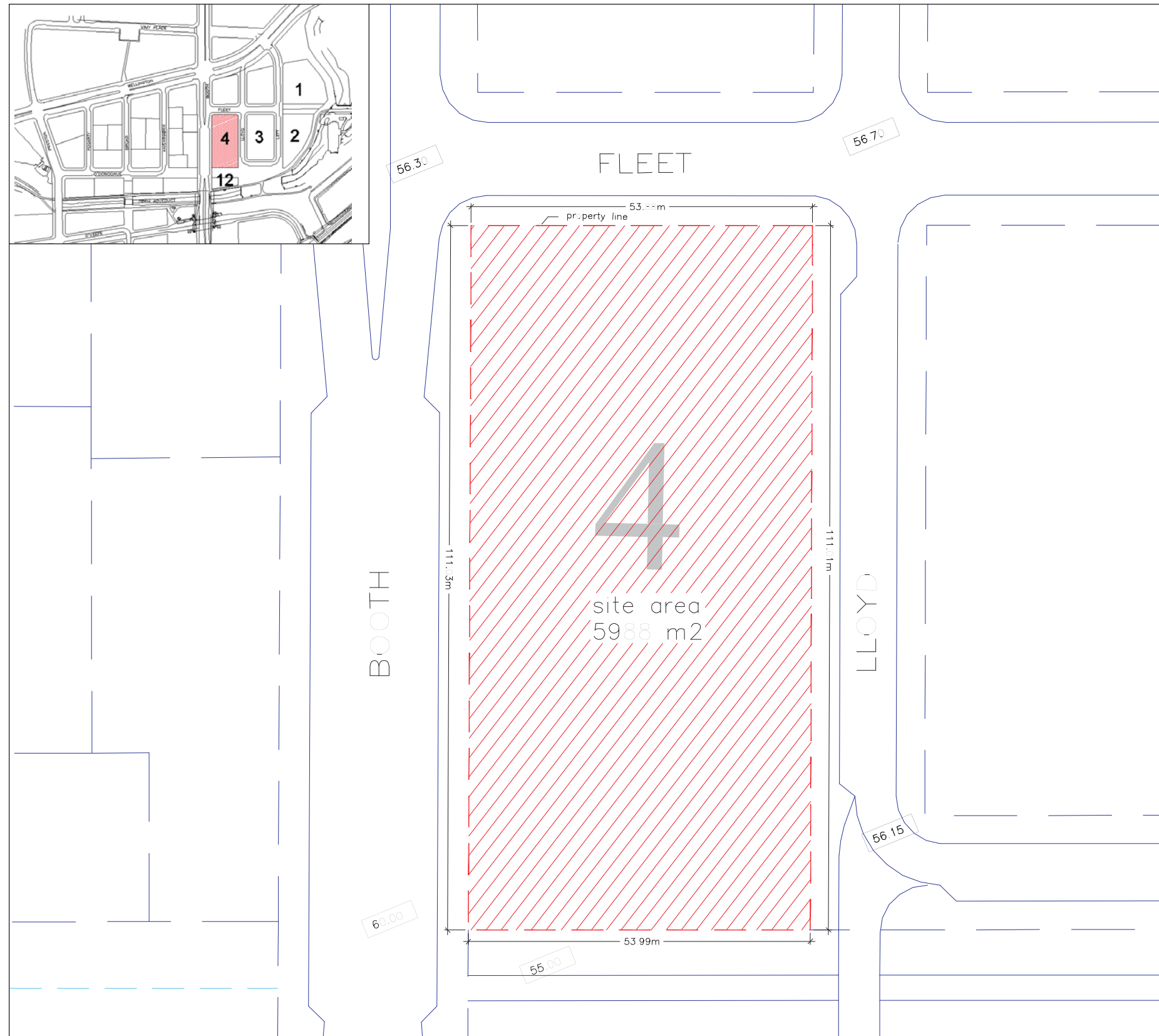
Edge Conditions

Residential

Ground floor dwelling units to be addressed, have direct access from, and windows facing into the street. Ground floor dwelling units and their front porch/yard areas to be elevated a minimum of 0.6 m and a maximum of 1.2m. above the adjacent sidewalk grade.

Parking and Servicing

All parking is to be located in below-grade structured parking. Parking and service access is to be accessed from Fleet Street and must be integrated into the design of the built form and landscape. Parking ramps are to be perpendicular, not parallel, to the street.



BLOCK 4, PROPERTY BOUNDARIES, SCALE 1:750

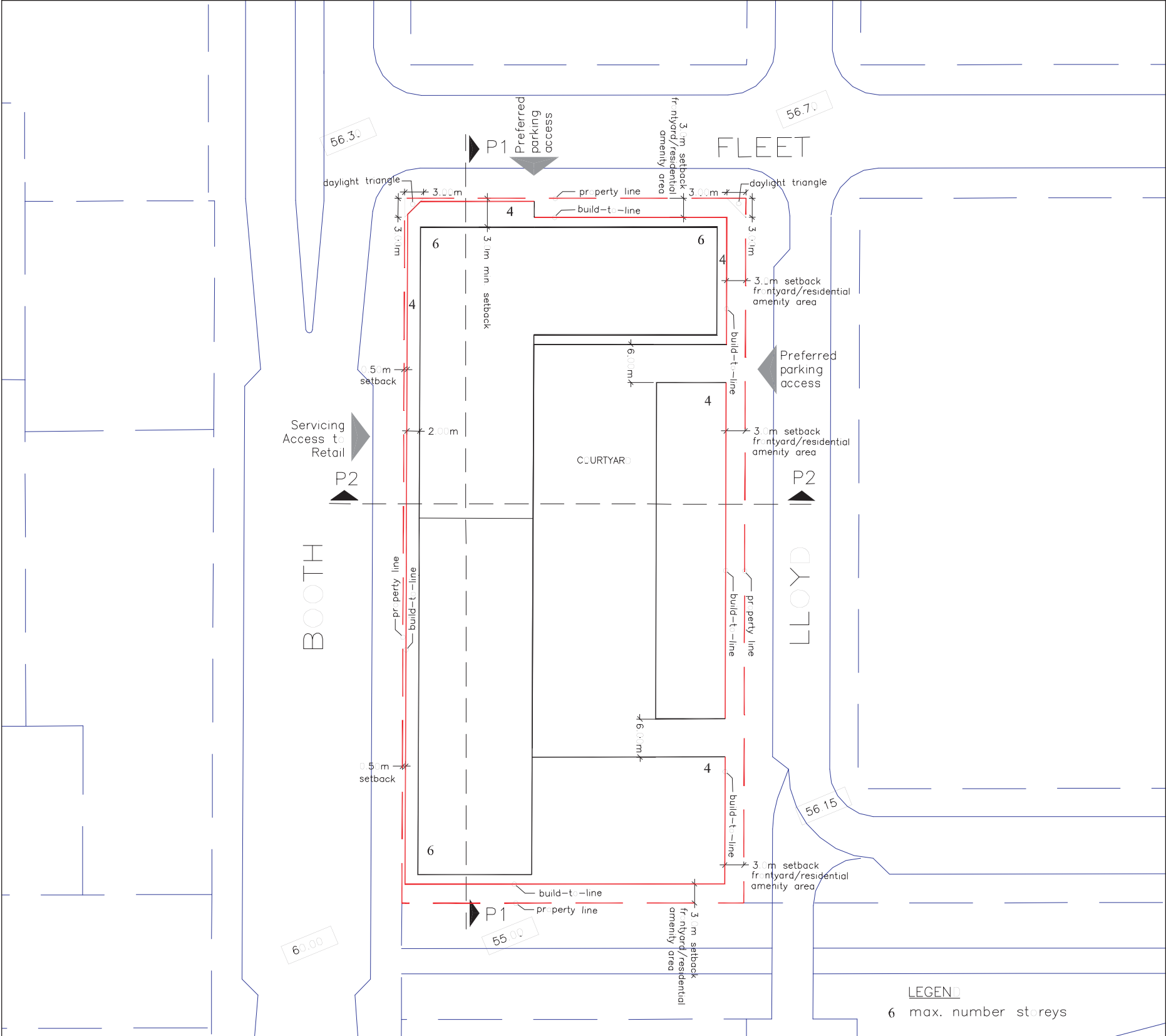
Block 4

Description

Block 4 is a development block located on the east side of Booth Street. Booth Street will become the main shopping street of the LeBreton Flats community. Buildings fronting onto Booth Street and the westerly half of the Fleet Street frontage will be configured with retail at the ground floor. Block 4 also has direct frontage on Lloyd Street to the east and Fleet Street to the north. The allowable form of development consists of mixed use, with mandatory retail and commercial uses at the ground level oriented to Booth Street and the westerly half of the Fleet Street and the residential component oriented to Fleet and Lloyd streets and the easement south of Block 4. Setback dimensions along Booth Street, Fleet Street and Lloyd Street easement property lines are compulsory "build-to" lines.

Zoning

The west and north portions of Block 4 are zoned CN9, which permits a range of service, commercial, office and residential uses. The east portion of the block is zoned CN9 permitting the same uses as on the west and north of the block, except that most service commercial and some community uses are prohibited. A maximum height of 40m. above grade is permitted.



DEMONSTRATION PLAN FOR BLOCK 4, SCALE 1:750

Block 4

Block Organization

The compulsory built-to lines will result in an organization of Block 4 that will reflect a perimeter configuration residential buildings fronting onto Booth Street, Fleet Street, the southern easement, and Lloyd Street and possibly forming an internal courtyard. The height of the buildings fronting on Booth and Fleet streets shall be 6 stories or 20m. Point towers shall be restricted to the Booth Street frontage, however they shall be limited to a maximum floor plate of 700 square metres and shall occupy no more than 50% of the Booth Street frontage. The elevation of Booth Street may be raised in the future by the City of Ottawa to accommodate the future Transitway/Booth Street grade-separated interface. The implication of this modification of the existing grades is that the levels and grade conditions of the built form must be carefully resolved to ensure that the ground floor of buildings and the mandatory retail use follow and are contiguous with the planned, finished grade along Booth Street from the south right-of-way line of Fleet Street to the south property line of Block 12. Purchasers shall satisfy themselves as to the intentions of the City of Ottawa to relocate the Transitway and grade-separate Booth Street.

Setbacks and Build-To Lines Measured from Property Line:

Up to 20 Metre Height:

Booth St.	0.5m Build-To line
Fleet St. residential	3.0m Build-To line
Fleet St. retail	0.5m Build-to line
Lloyd St.	3.0m Build-To line
Southern Frontage	3.0m Setback

Above 20 Metre Height:

Booth Street	2.5m Setback
Fleet Street	3.0m minimum Setback
Southern Easement	3.0m minimum Setback

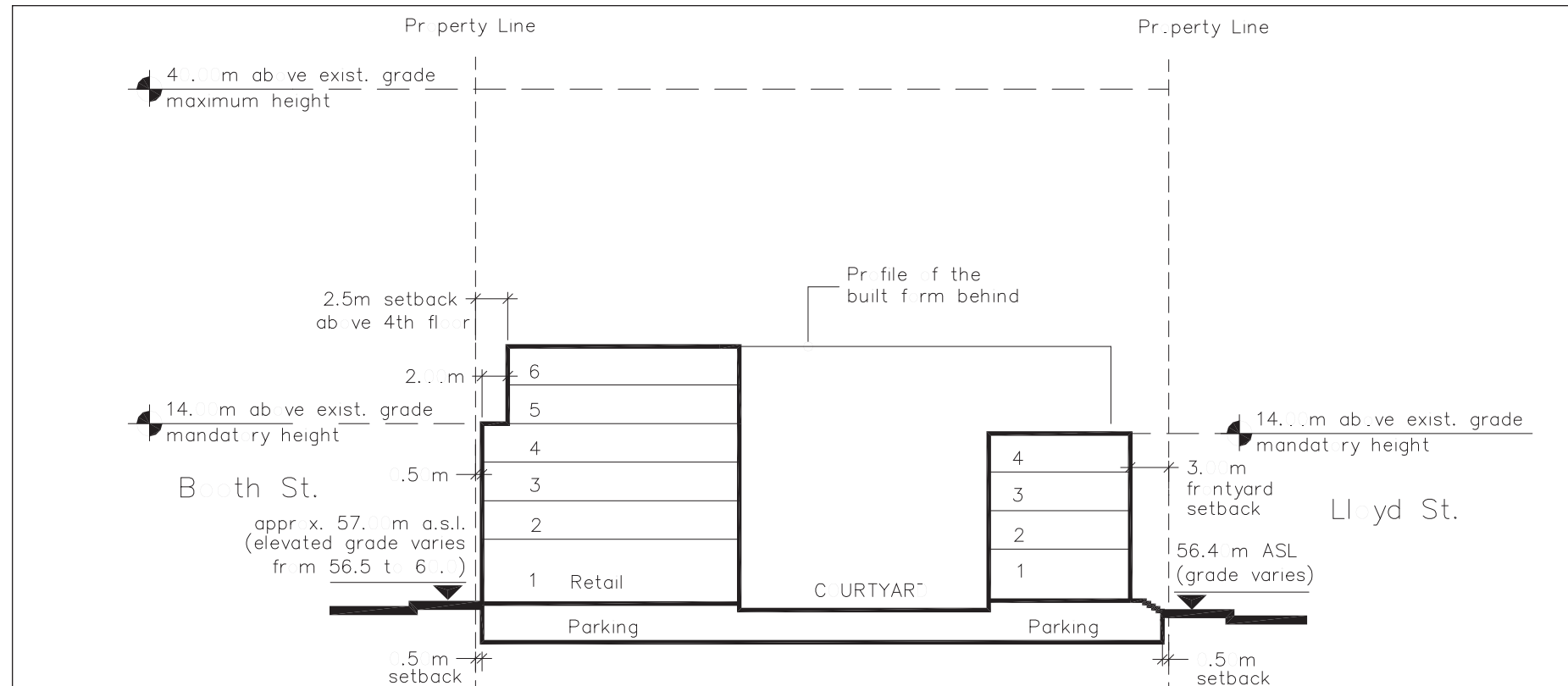
Minimum Building Height:

20m. and 6 storeys on Booth and Fleet Streets
14m. and 4 Storeys on Lloyd Street

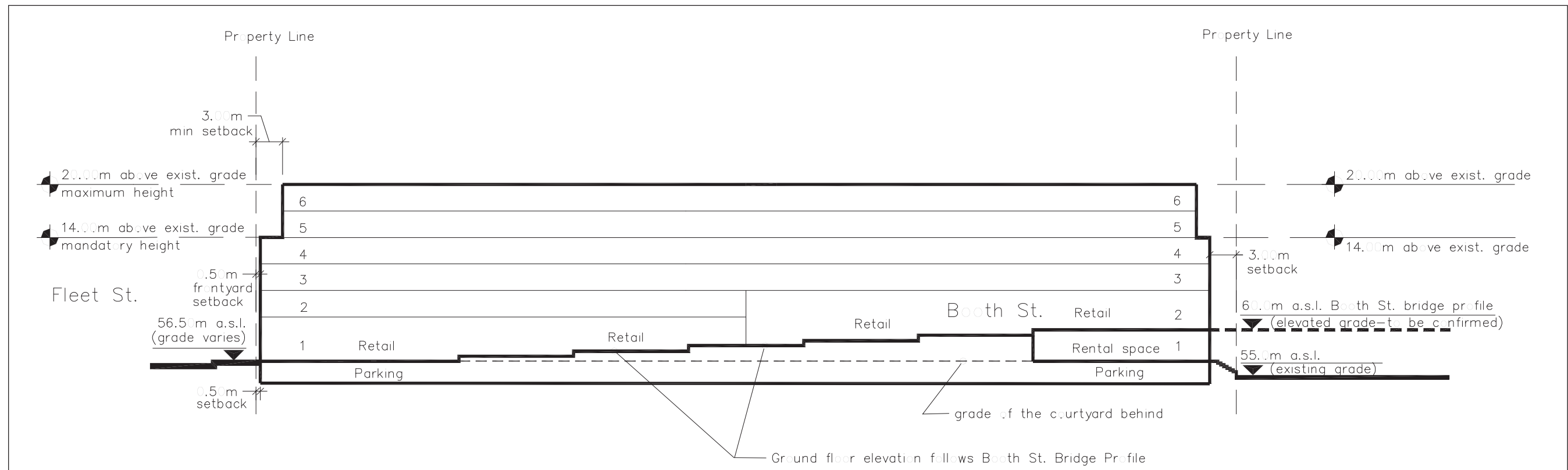
Maximum Overall Building Height: 40.0m

Block 4

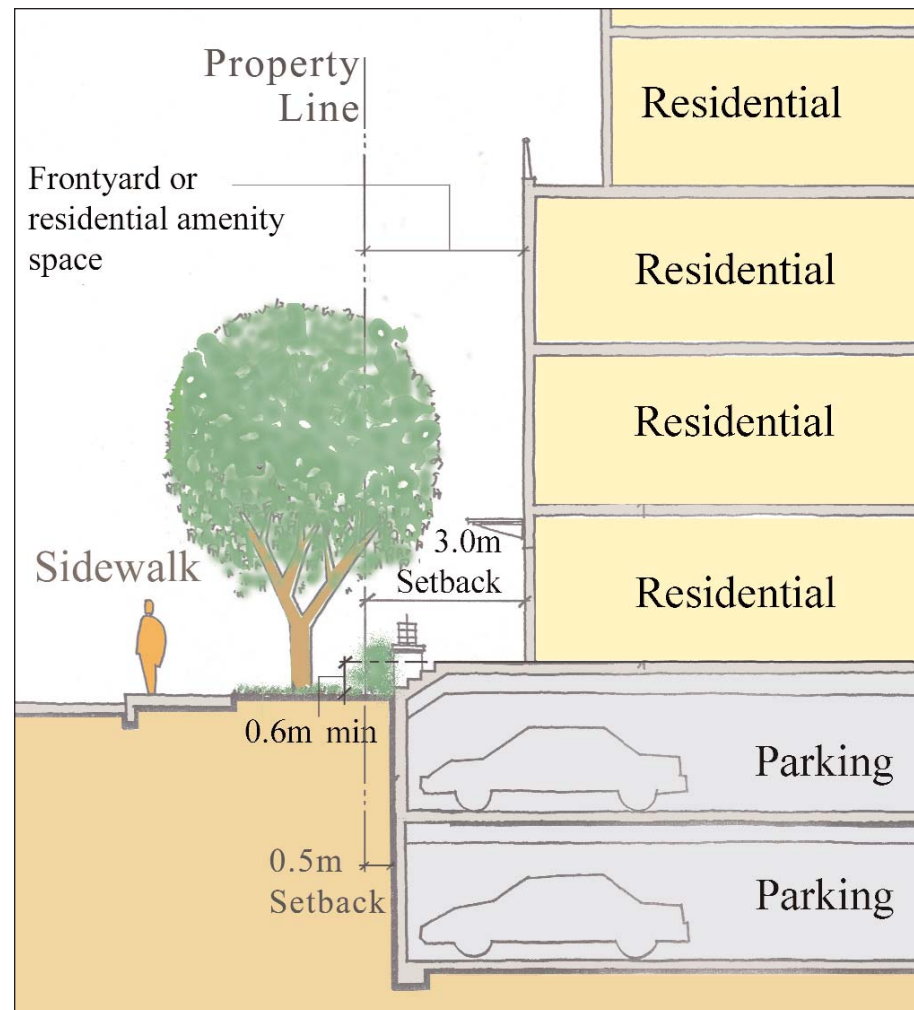
The building envelope is illustrated in these sections. It is mandatory that the built form be articulated by its architecture within the maximum height limits and setbacks, both in plan and in section. The 4th floor or 14m. height must be acknowledge by a setback of at least 1.5m. and/or by an acceptable architectural device such as a cornice.



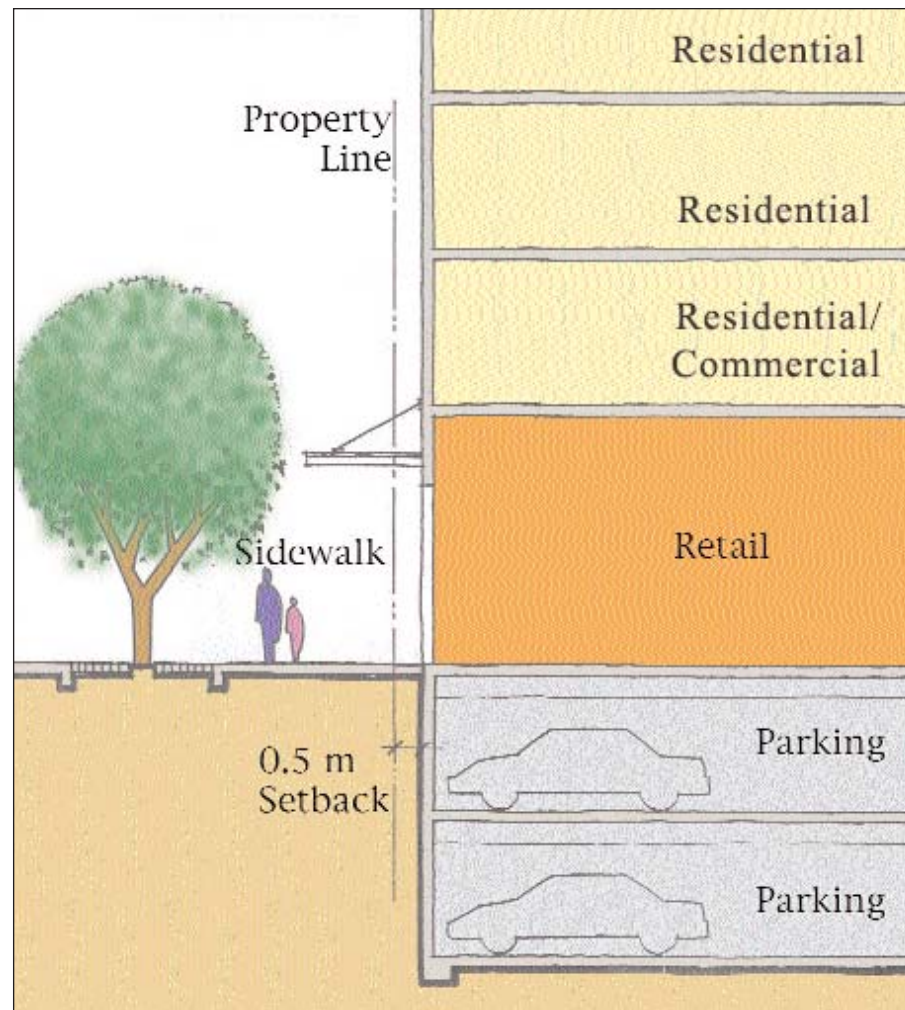
SECTION OF DEMONSTRATION PLAN FOR BLOCK 4, SECTION P2-P2, SCALE 1:500



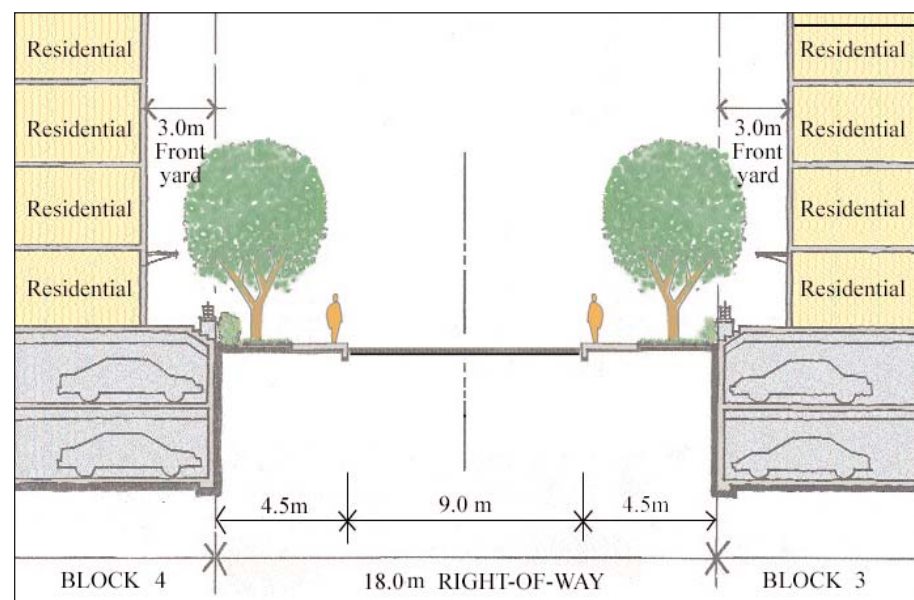
SECTION OF DEMONSTRATION PLAN FOR BLOCK 4, SECTION P1-P1, SCALE 1:500



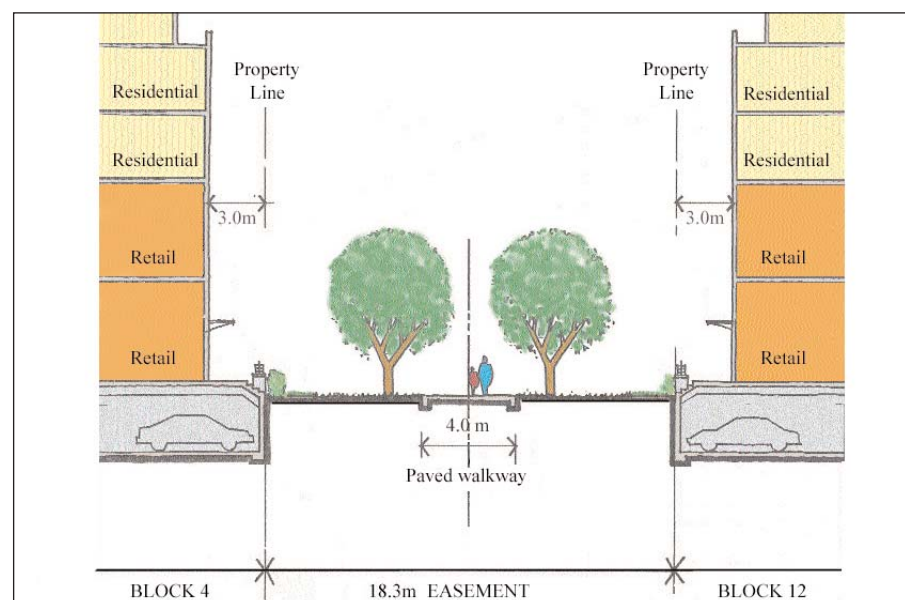
RESIDENTIAL BUILDING EDGE (DEMONSTRATION PLAN)



RETAIL BUILDING EDGE (DEMONSTRATION PLAN)



CROSS-SECTION OF LLOYD STREET, LOOKING NORTH (DEMONSTRATION PLAN)



CROSS-SECTION OF SOUTHERN EASEMENT, LOOKING EAST (DEMONSTRATION PLAN)

Block 4

Edge Conditions

Residential

Ground floor dwelling units are to be addressed, have direct access from, and windows facing into the street. Ground floor dwelling units and their front porch/yard areas to be elevated a minimum of 0.6m. and a maximum of 1.2m. above the adjacent sidewalk grade.

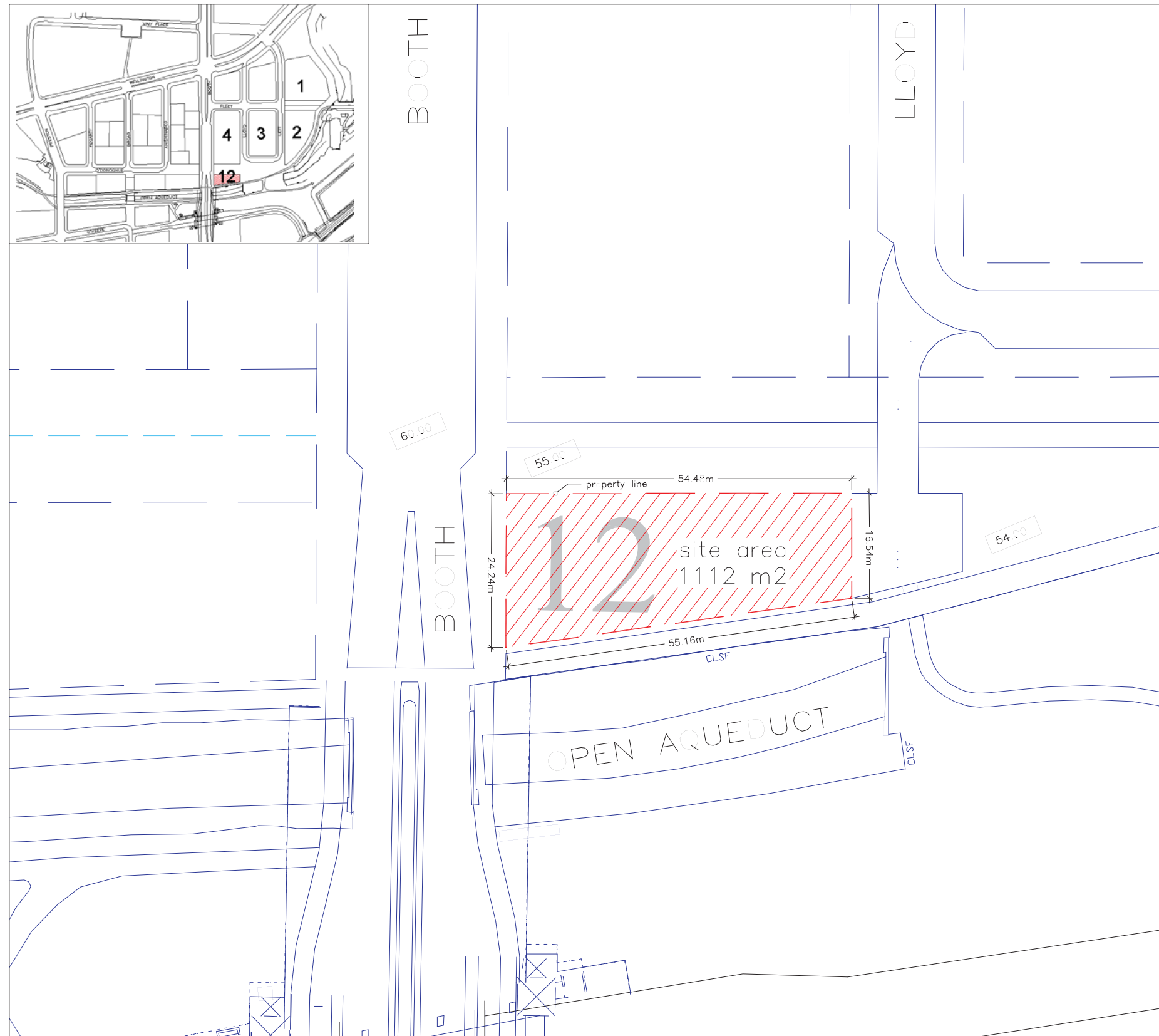
Retail

Ground floor retail is to be located at, and accessed directly from, sidewalk level. Small courtyards may be incorporated into the street wall of the frontage base of the building to express an entry. Retail storefronts shall be designed to suit the needs of neighbourhood retail with accommodation of outdoor display and sales. A continuous permanent weather protection device, such as a canopy or awning, shall extend along the entirety of the retail frontage to afford pedestrian amenity. Minimum width for the weather protection device is 1.5m with a ground clearance of 2.5m to the underside of structure and as permitted by municipal regulation.

Parking and Servicing

All parking is to be located in below-grade structured parking. Parking and service access is to be accessed from Fleet Street and must be integrated into the design of the built form and landscape. Servicing for the Booth Street retail and office component is to be "over-the-curb" from Booth Street. Parking ramps are to be perpendicular, not parallel, to streets.

LeBreton Flats



BLOCK 12, PROPERTY BOUNDARIES, SCALE 1:750

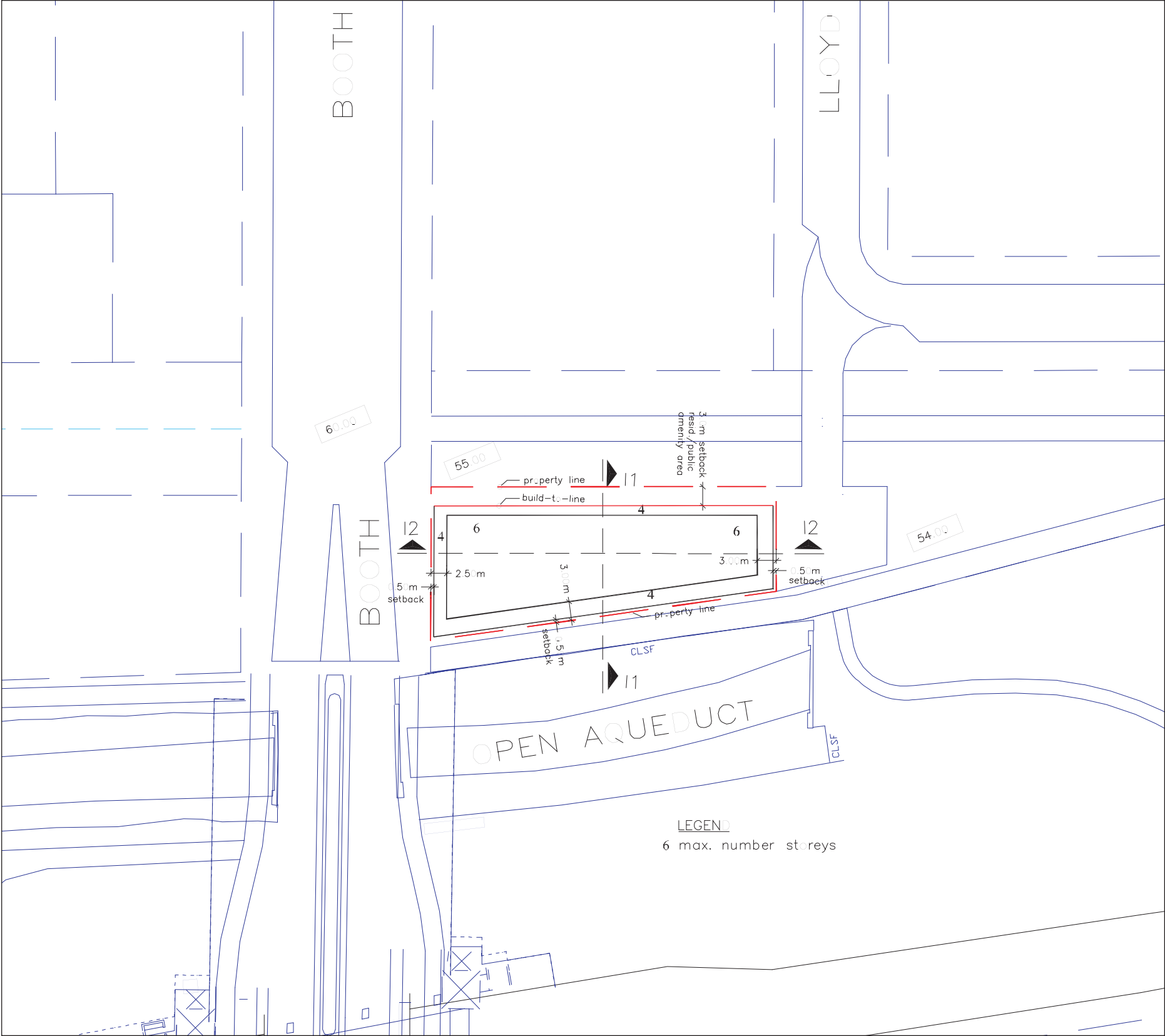
Block 12

Block Description

Block 12 is located directly north of the aqueduct, south of the easement, and east of Booth Street. This block has both a unique location within the development and interface with Booth Street along its western frontage. The raised elevation of Booth Street, in order to accommodate the proposed grade separated roadway over the Transitway and vehicular traffic on Booth Street, creates a condition in which the road elevation is approximately 6m higher than the base grade condition of the block. This raised interface will have to be carefully resolved to address the livability of residential units along the western edge of the development block. Built form for this block will consist of a minimum of 6 stories or 20m. residential or residential/mixed use building. A point tower would be permitted, however its maximum floor plate area shall be no greater than 700 square metres. Setback dimensions from the north, east and west property lines are compulsory "build-to" lines.

Zoning

The zoning designation applied to this parcel of land is R7D, which permits a range of service commercial and retail uses at grade and residential on the floors above. The maximum permitted height is 40.5m.



DEMONSTRATION PLAN FOR BLOCK 12, SCALE 1:750

Block 12

Block Organization

The organization of Block 12 is a single building envelope due to the dimensional constraints in the north-south dimension.

Setbacks and Build-To Lines Measured from Property Line

Up to 14m and 4 storeys:

Northern easement	3.0m Build-To Line
Booth Street	0.5m Setback
Eastern Boundary	0.5m Setback
Southern Frontage	0.5m Setback

Above 14 Metre Height:

Northern easement	3.0m Setback
Booth Street	2.5m Setback
Eastern Boundary	3.0m Setback
Southern Frontage	3.0m Setback

Minimum Building Height:

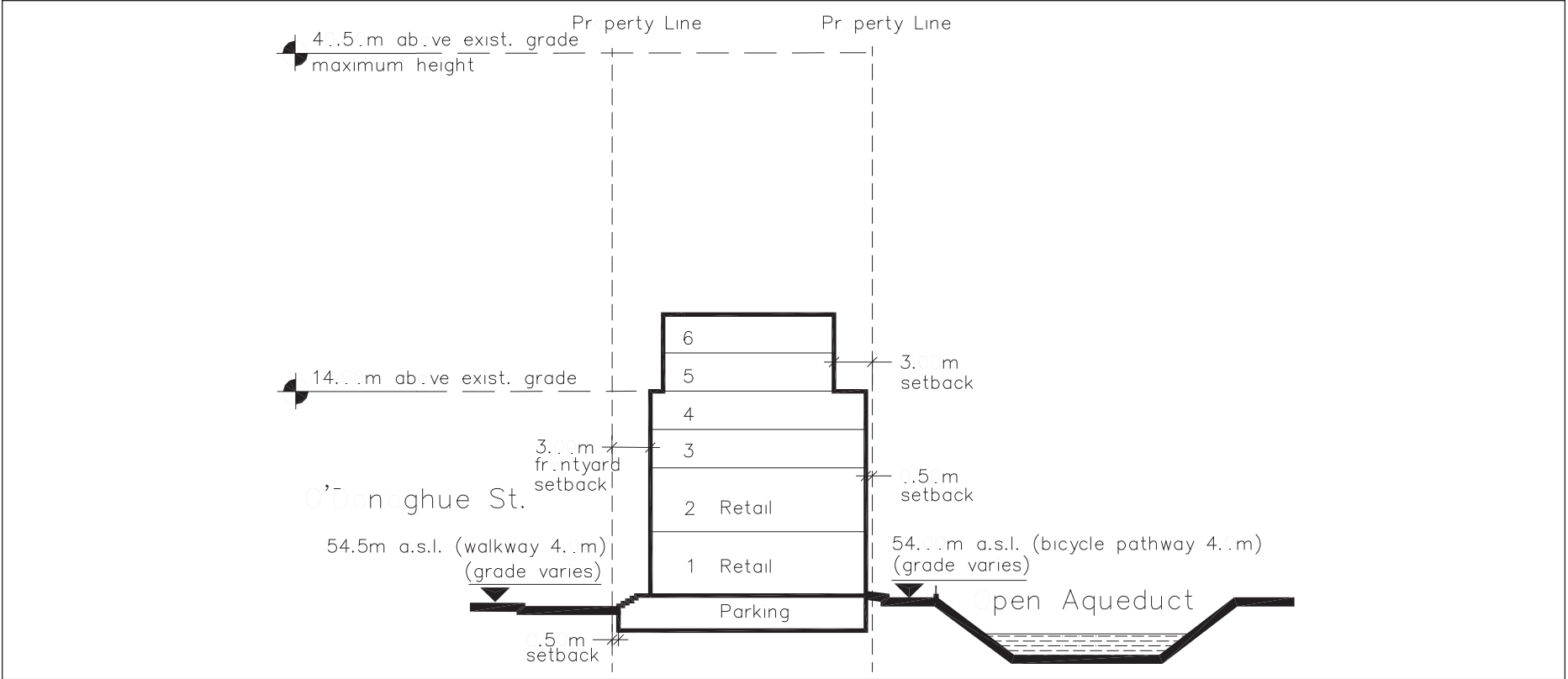
20m and 6 storeys

Maximum Building Height:

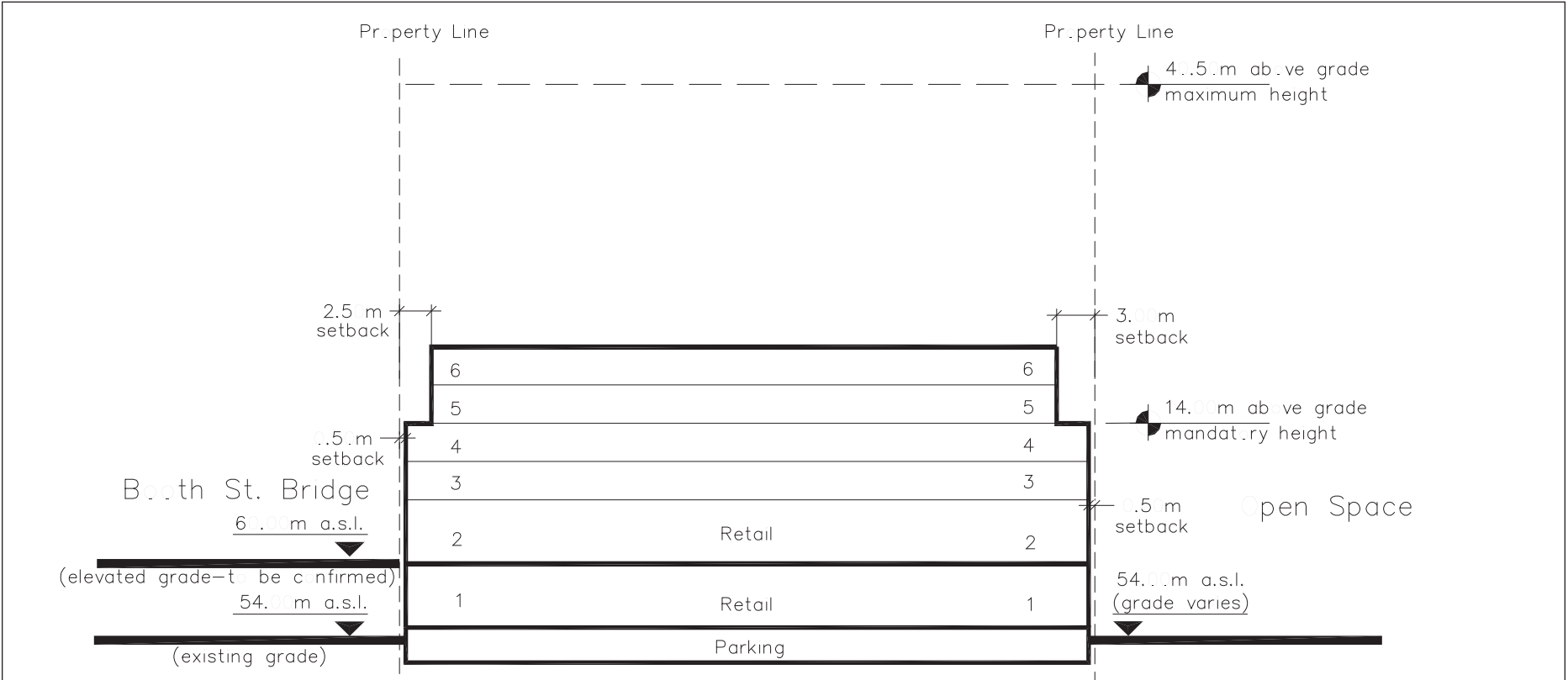
40.5m

Block 12

The building envelope is illustrated in these sections. It is mandatory that the built form be articulated by its architecture within the maximum height limits and setbacks, both in plan and in section. The 4th floor or 14m. height must be acknowledge by a setback of at least 1.5m. and/or by an acceptable architectural device such as a cornice.



SECTION OF DEMONSTRATION PLAN FOR BLOCK 12, SECTION I1-I1, SCALE 1:500



SECTION OF DEMONSTRATION PLAN FOR BLOCK 12, SECTION I2-I2, SCALE 1:500

Block 12

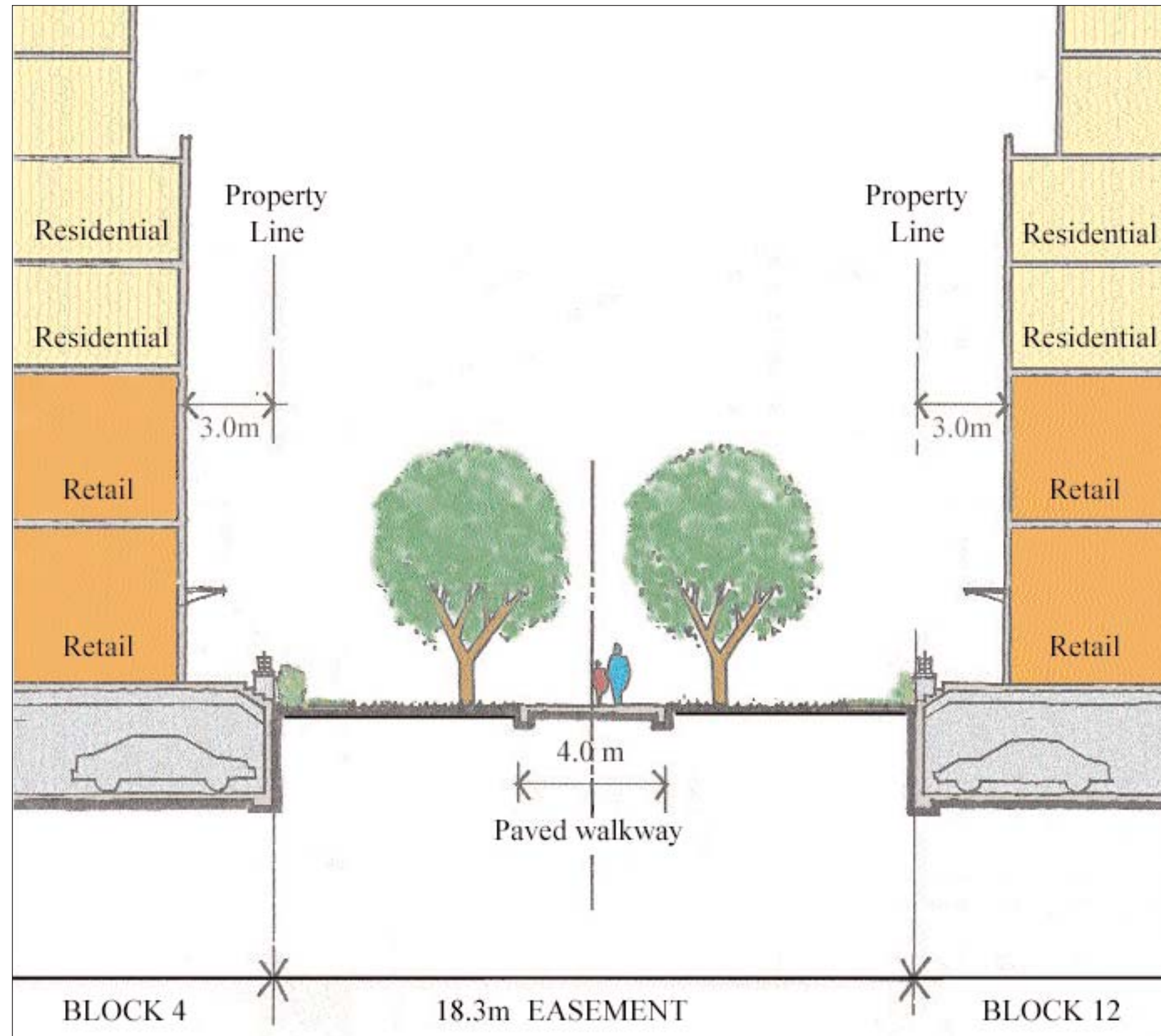
Edge Conditions

Residential

Ground floor dwelling units to be addressed, have direct access from, and windows facing into the street. Ground floor dwelling units and their front porch/yard areas to be elevated a minimum of 0.6m. and a maximum of 1.2m above the adjacent sidewalk grade.

Parking and Servicing

All parking is to be located in below-grade structured parking. Parking and service access is to be accessed from the northern easement and must be integrated into the design of the built form and landscape. Parking ramps are to be perpendicular, not parallel, to the street.



CROSS-SECTION OF NORTHERN EASEMENT, LOOKING EAST (DEMONSTRATION PLAN)

LeBreton Flats